

Annwyl Gyngorydd,

## PWYLLGOR CYNLLUNIO - DYDD IAU, 7FED CHWEFROR, 2019

Gweler yn amgaaedig, yr atodiadau a cynlluniau ar gyfer y cyfarfod uchod.

Rhif ar yr Agenda	Eitem
-------------------	-------

- |    |  |
|----|--|
| 3. | <b><u>RHANBARTH Y DWYRAIN - PENDERFYNU AR GEISIADAU CYNLLUNIO</u></b><br>(Tudalennau 5 - 24)     |
| 4. | <b><u>RHANBARTH Y DE - PENDERFYNU AR GEISIADAU CYNLLUNIO</u></b> (Tudalennau 25 - 88)            |
| 5. | <b><u>RHANBARTH Y GORLLEWIN - PENDERFYNU AR GEISIADAU CYNLLUNIO</u></b><br>(Tudalennau 89 - 112) |

Yn gywir,

*Mark James* DYB

Prif Weithredwr

Amg.





Mae'r dudalen hon yn wag yn fwriadol



*Ardal  
Dwyrain/  
Area East*

**ADRODDIAD PENNAETH CYNLLUNIO,  
CYFARWYDDIAETH YR  
AMGYLCHEDD**

**REPORT OF THE HEAD OF  
PLANNING,  
DIRECTORATE OF ENVIRONMENT**

**AR GYFER PWYLLGOR CYNLLUNIO  
CYNGOR SIR CAERFYRDDIN**

**TO CARMARTHENSHIRE COUNTY  
COUNCIL'S PLANNING COMMITTEE**

**AR 07 CHWEFROR 2019  
ON 07 FEBRUARY 2019**

**I'W BENDERFYNU  
FOR DECISION**

**ATODIAD  
ADDENDUM**



## ADDENDUM – Area East

<i>Application Number</i>	<b>E/37648</b>
<i>Proposal &amp; Location</i>	THE CONSTRUCTION OF A PROPOSED GATED ACCESS TO THE SITE KNOWN AS PENYGROES CONCRETE WORKS ALONG WITH ASSOCIATED DRAINAGE, ACCESSED FROM THE ECONOMIC LINK ROAD (UNDER CONSTRUCTION) AND ALSO THE CONSTRUCTION OF A NEW AGRICULTURAL ACCESS OFF THE ECONOMIC LINK ROAD AT PENYGROES CONCRETE, NORTON ROAD, PENYGROES, LLANELLI, SA14 7RU

### **DETAILS:**

Planning Ecology requests that a contribution is made towards the Caeau Mynydd Mawr Special Area of Conservation as the site is within the 2km buffer zone. Based on the area of the new development shown in this application, 2030 square metres is proposed. As a result, the contribution requirement is £6351.87, based on the standard contribution requirement of £31290 per hectare for non-residential sites.



***Y PWYLLGOR CYNLLUNIO***

**PLANNING COMMITTEE**

***7 CHWEFROR 2019***

**7 FEBRUARY 2019**

***RHANBARTH Y DWYRAIN***

**AREA EAST**



# ***CEISIADAU YR ARGYMHELLIR EU BOD YN CAEL EU CYMERADWYO***

## **APPLICATIONS RECOMMENDED FOR APPROVAL**



E/37648



Tudalen 10

# E/37648

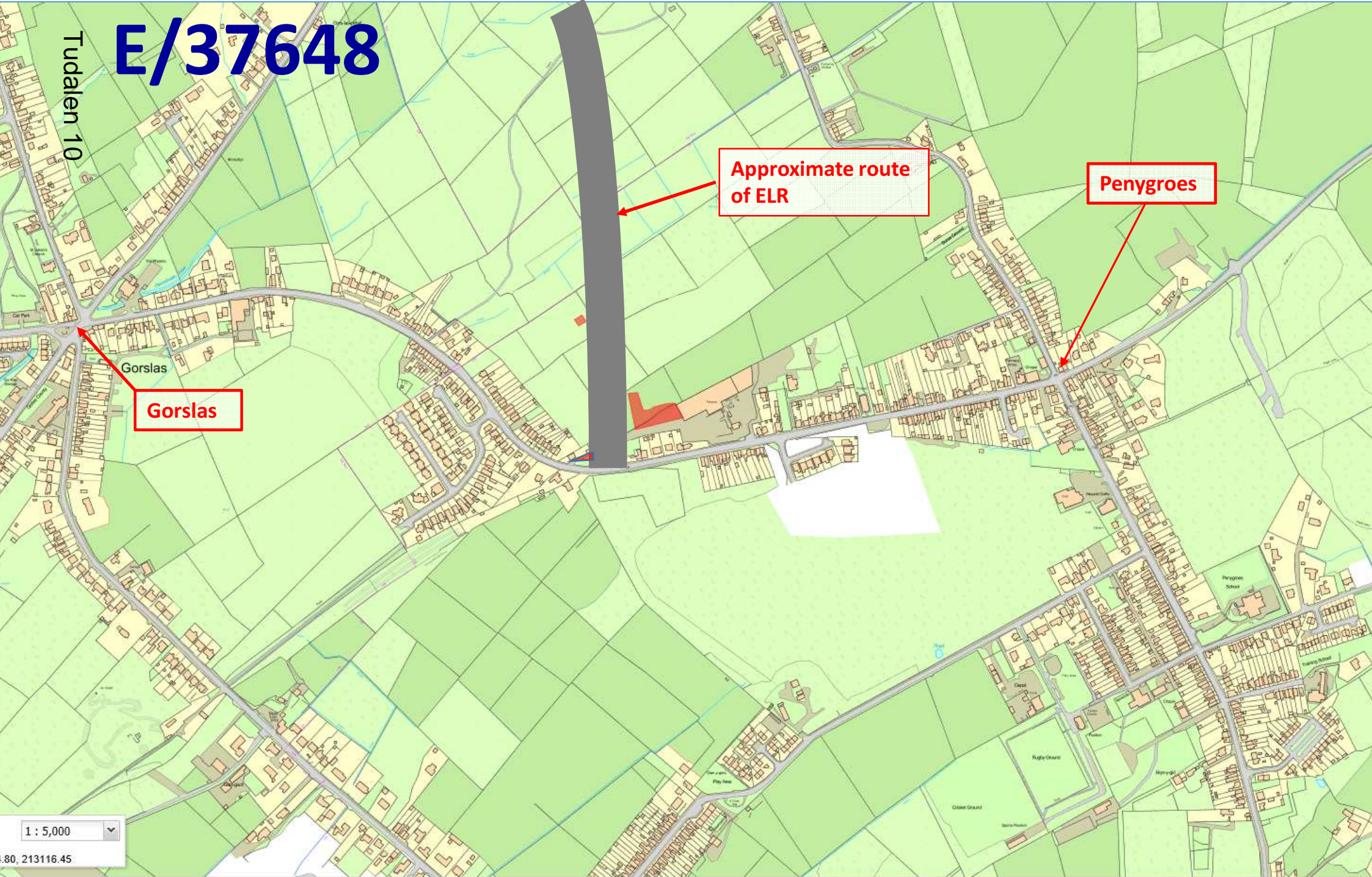
Approximate route of ELR

Penygroes

Gorslas

1 : 5,000

80, 213116.45





E/37648



Tudalen 11

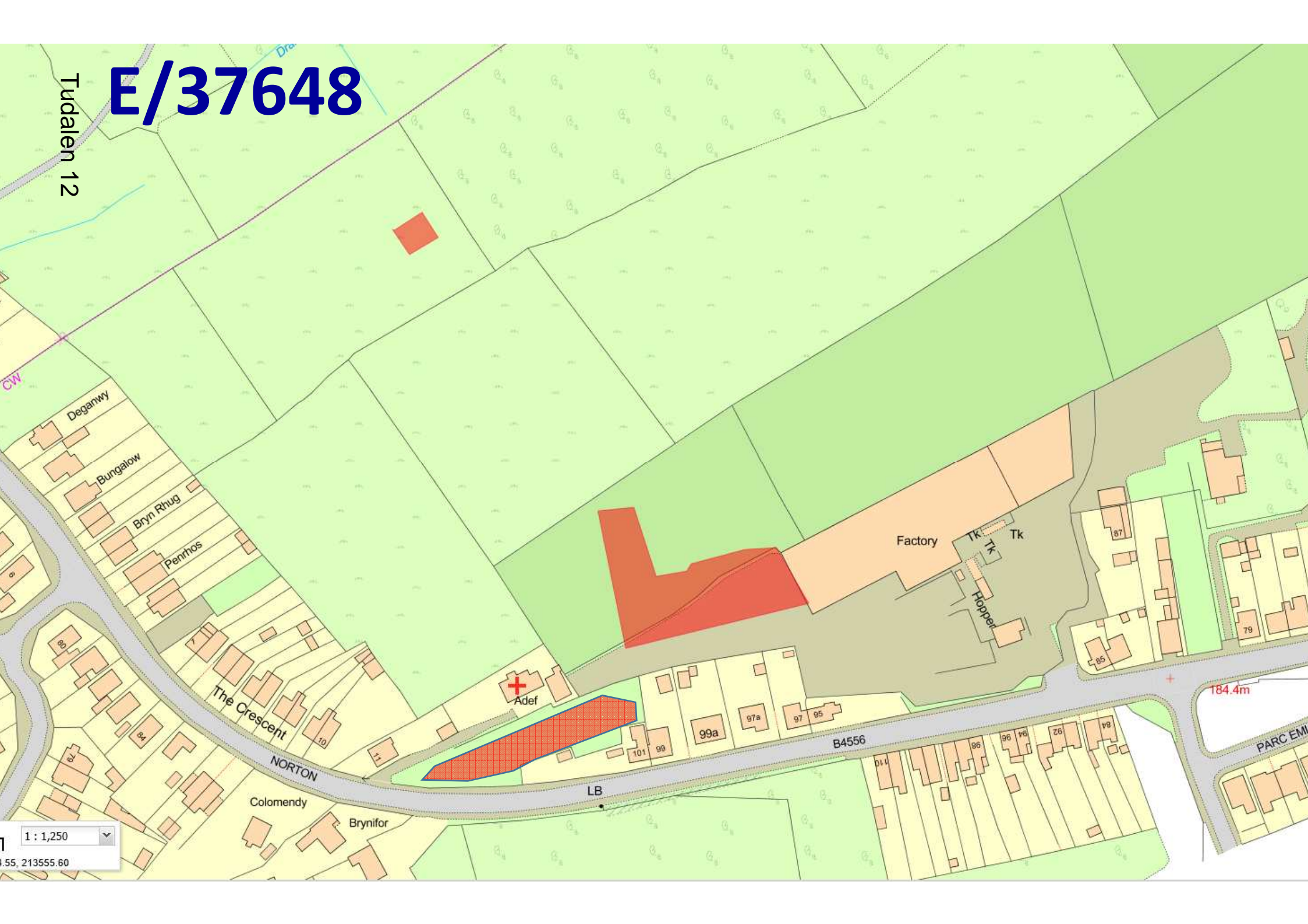
1 : 2,500

.17, 213600.30



Tudalen 12

# E/37648



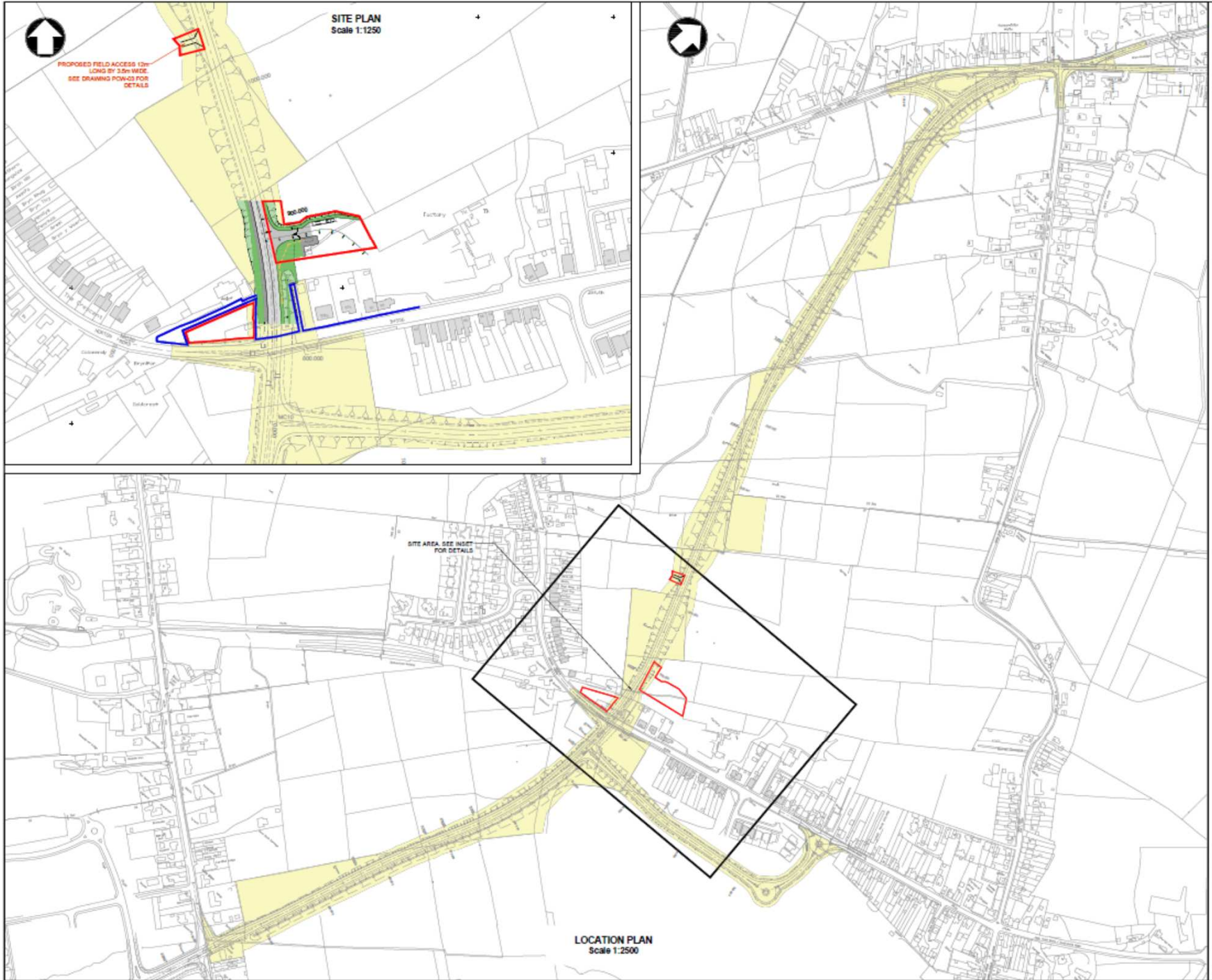
1 : 1,250

55, 213555.60



# 37648

Tudalen 13



**KEY**

- EXTENTS OF PLANNING APPROVAL E022066
- AREA TO WHICH THE APPLIES (2300W) & PROPOSED ACCESS
- AREA OF ADJOINING OWNERSHIP OF THE

© Harbort & Pinner is a member of the Harbort & Pinner Group. All rights reserved. © Crown copyright and database right. Ordnance Survey 10002015

**PLANNING APPLICATION**

John & Gillian Carver/Carver & Carver

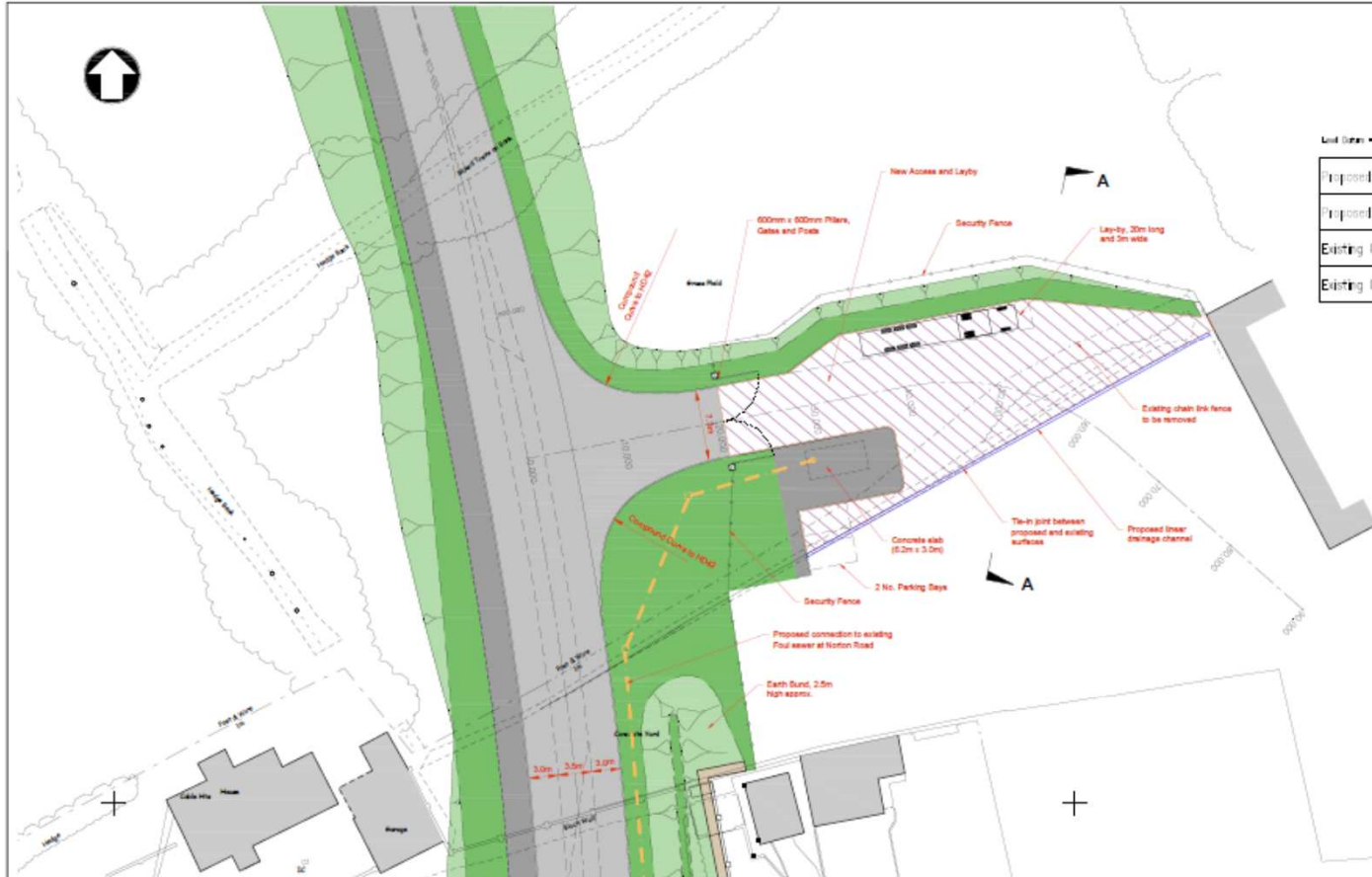
**Stephan G Pinner**  
Responsible Technical Officer/Planning Officer  
John & Gillian Carver/Carver & Carver  
100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

**PROPOSED NE PENYGROES COM LT**

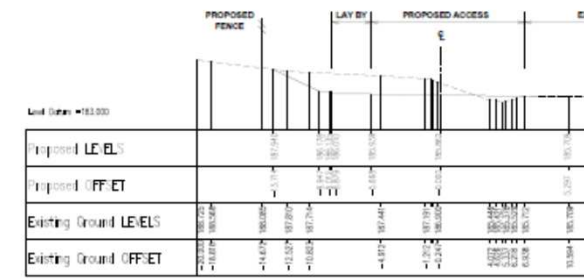
**LOCATION**

DATE: 20/12/18  
BY: ASW

AS SHOWN



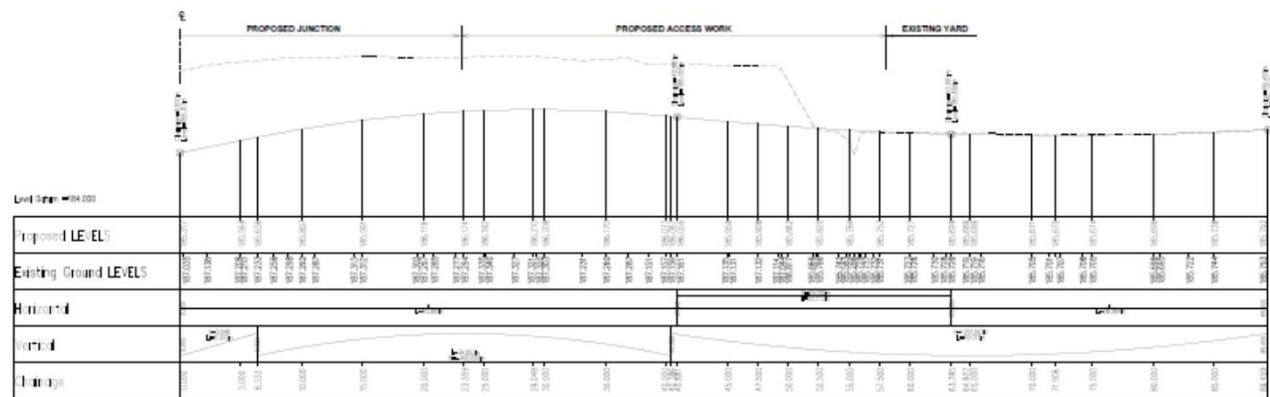
**SITE PLAN**  
Scale 1:250



**CROSS SECTION A-A**  
Scale 1:200 (natural)

Description	CL	Description	Grade	Thickness	Notes
Sub-base	100	Sub-base	100	100	100
Wedge Course	100	Wedge Course	100	100	100
Slab	100	Slab	100	100	100
Foundation	100	Foundation	100	100	100
Total Thickness including Foundation: 100mm					

Subgrade CBR Value (%)	Sub-Base	Sub-base + Capping	Capping
10	100	100	100
20	100	100	100
30	100	100	100
40	100	100	100
50	100	100	100
60	100	100	100
70	100	100	100
80	100	100	100
90	100	100	100
100	100	100	100



**LONGITUDINAL SECTION ALONG CENTRE LINE OF ACCESS**  
Horizontal scale 1:200 Vertical scale 1:50

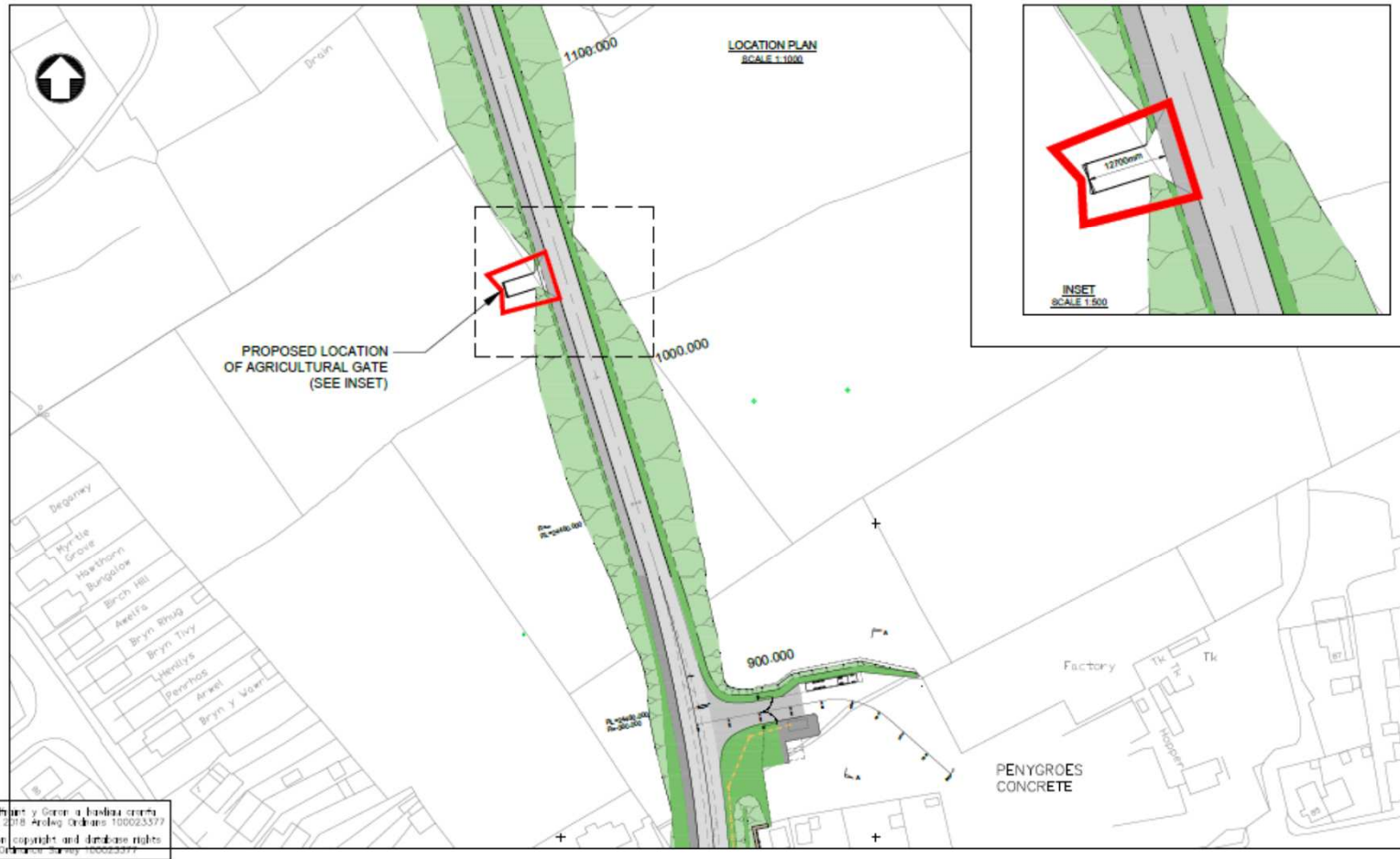
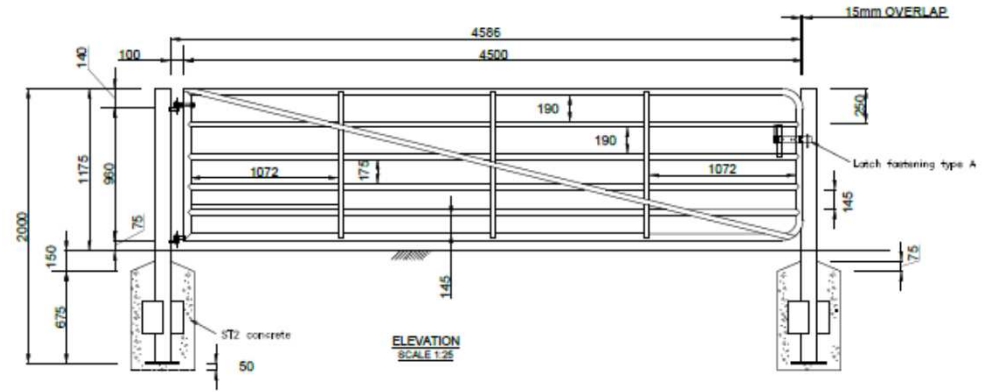
**Stephen G Pilliner**  
 Planning and Construction  
 100, 100, 100, 100, 100, 100  
 Cardiff, SA1 1AA

**PROPOSED NEW A**  
**PENYGROES CONCRE**  
**LTD.**

**GENERAL ARRAN**  
**MAIN ACCE**

Date: 20/12/16  
 Project: PLANNING APPLICATION  
 Status: AS SHOWN

DESCRIPTION OF MATERIAL	SIZE	FINISH AND FITTING
Heading post (Tubular steel)	114.3 outer dia x 3.0 thick	Top coping plate 4.8 thick. Top 200x100mm end plates welded to post. Base plate 200x200mm. Cap and base plates to be continuously flat welded to tube.
Shifting post (Tubular steel)	88.9 outer dia x 3.2 thick	
Gate frames	48.3 outer dia x 3.0 thick	
Welded reinforcement rails (all tubular steel)	42.4 outer dia x 2.8 thick	
Vertical bracing (steel flat)	Three 30x4.0	Weld to each gate member.
Diagonal bracing (steel flat)	Two 30x4.0	crossed by bracing.



©Bathurst y Gorn y Fawddu cwmni ddma 2018. Arolwg Ardalo 100023377  
 ©Crown copyright and database rights 2018. Ordnance Survey 100023377

- NOTES**
- ALL DIMENSIONS ARE TO BE IN METERS UNLESS STATED OTHERWISE.
  - GATES SHALL COMPLY WITH APPENDIX 1/15 OR 31, AND WITH THE REQUIREMENTS OF THE ROAD AND TRAFFIC ACT 1988 (AS AMENDED).
  - GATE STOPS TO BE PROVIDED IN ACCORDANCE WITH DRAWING NO. 1053.
  - THE GATE SHALL OPEN INTO THE ROAD.
  - THE CORNERS OF THE MAIN FRAME SHALL BE ROUNDED AND MITRED (AS DRAWING NO. 1053) OR CRIMPED.
  - PROTECTIVE TREATMENT TO BE PROVIDED IN ACCORDANCE WITH APPENDIX 1/15 OR 31.

REV	DATE	REVISION/DESCRIPTION

PLANNING APPLICATION

**Sir Gâr Carmarthenshire**

**Stephen G Pilliner**  
 Penarth Tŷchilwath a Thelwring, Adran Angŷlwrdd, Bloc 1, Parc Myrddin, Waun Owen, Caerfyrddin, SA31 1AQ

**PROPOSED NEW AGRICULTURAL GATE**

**GENERAL ARRANGEMENTS**

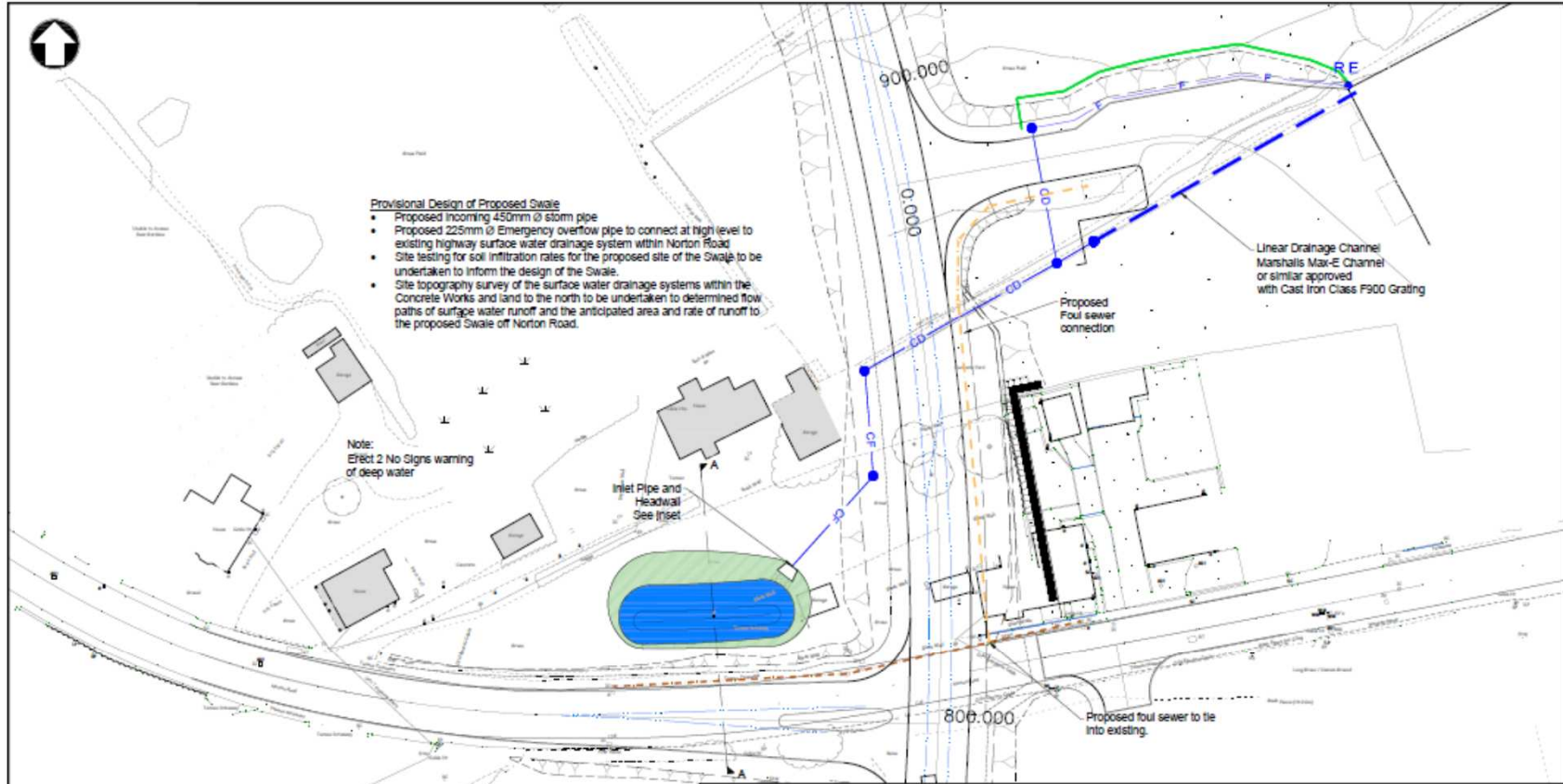
Drawn By	Date	Checked	Date
GS	27/03/18	ABW	11/04/18

Scale: **AS SHOWN**



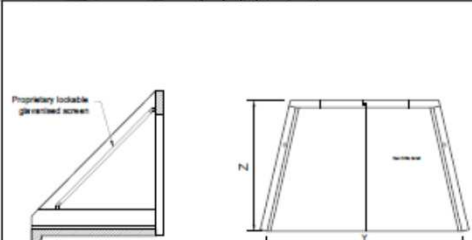
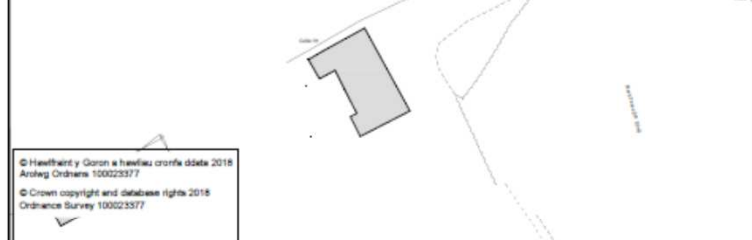
# 37648

Fudalen 16



**KEY**

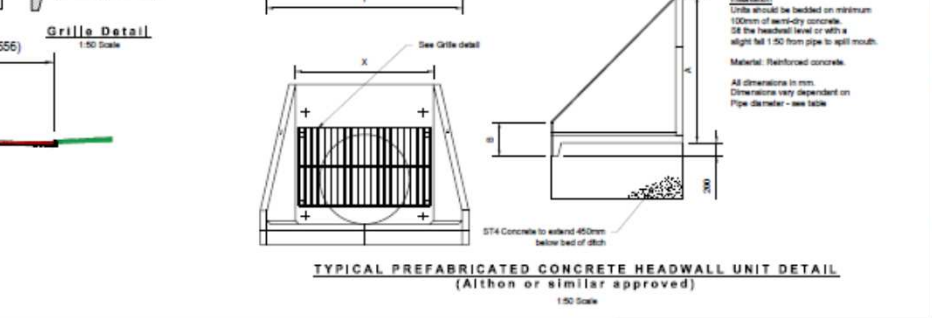
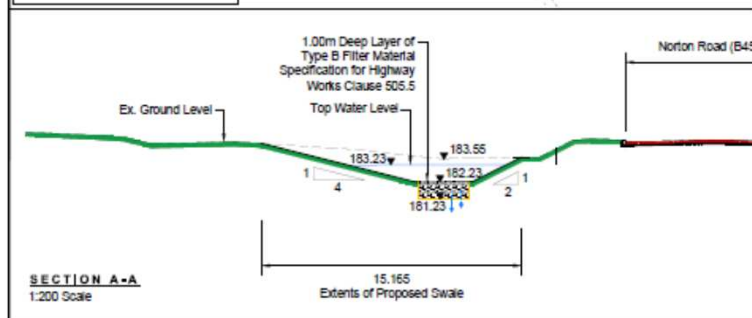
- CD — Catcher D
- CF — Catcher F
- F — Filter D
- L — Linear D
- S — Surface
- G — Gully C
- RE — Road



**PCC Headwall using Table**

Headwall Type	Max pipe dia. (mm)		Dimensions (mm)					
	Plastic	Conc.	A	B	X	Y	Z	
H10C	300	225	800	150	400	1300	900	
H16-A	500	450	1100	320	650	1560	1320	
H16-B	500	450	1850	410	650	1560	1320	
H16-C	500	450	2050	410	650	1560	1320	
H10C-A	900	750	1250	300	1150	1960	1910	
H10C-B	900	750	1850	300	1150	1960	1910	
H10C-C	900	750	2130	300	1150	1960	1910	
H20C-A	1500	1500	1250	300	2025	2995	1910	
H20C-B	1500	1500	1850	300	2025	2995	1910	
H20C-C	1500	1500	2130	300	2025	2995	1910	

**Installation:**  
Units should be bedded on minimum 100mm of semi-dry concrete. Set the headwall level or with a slight fall 1:50 from pipe to spill mouth.  
Material: Reinforced concrete.  
All dimensions in mm. Dimensions vary dependent on Pipe diameter - see table.



© Healftrwy y Goron a healfu cronff ddada 2015  
Anrwyd Orllewin 100023377  
© Crown copyright and database rights 2015  
Ordnance Survey 100023377

REV DATE REVISION DESCRIPTION  
DATE PLANNING APPLICATION  
Sir Gâr  
Carmarthenshire  
RICK CYMRO  
www.rickcymro.co.uk  
YOUR COUNCIL  
www.yourcouncil.gov.uk

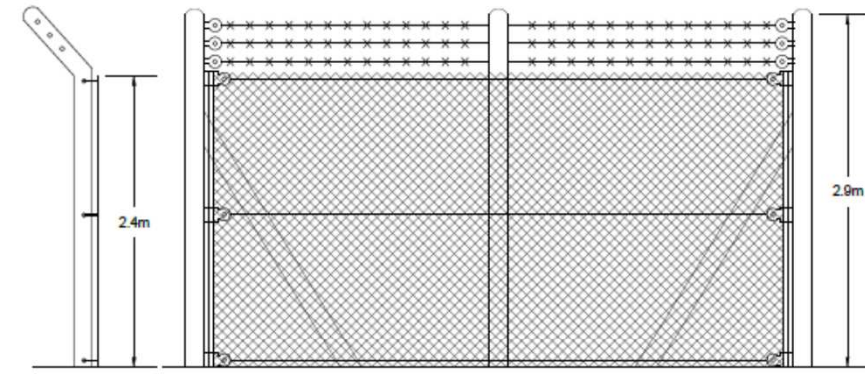
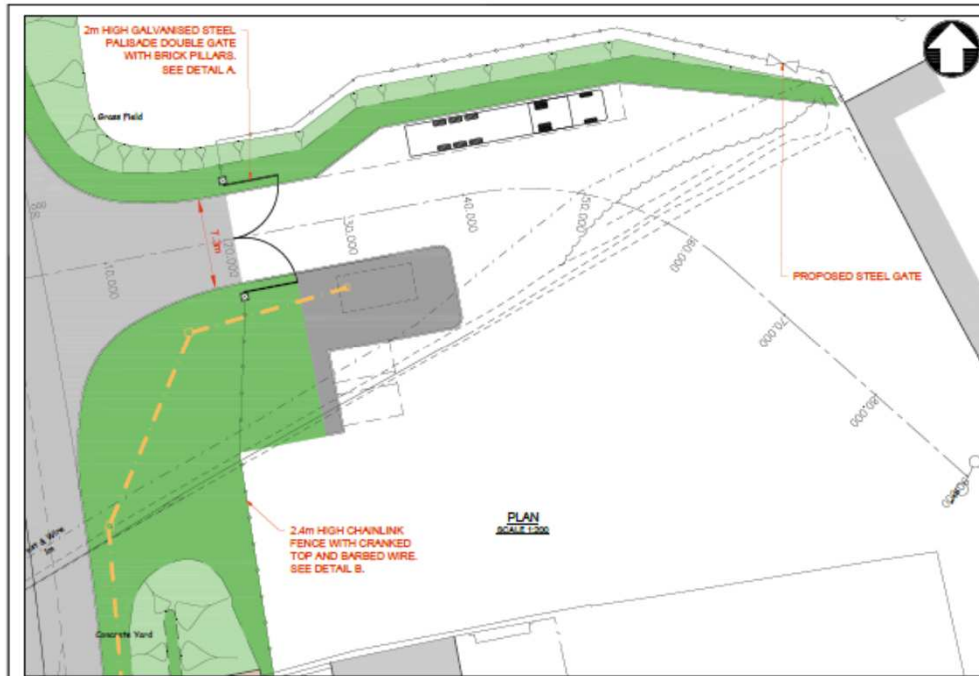
Stephen G Pilliner  
Head of Planning  
Head of Planning  
Adran Angliadaeth, Bloc 1,  
Parc Myrddin, Waun Owen,  
Caerfyrddin SA31 3AD  
Department  
Parc Myrddin  
Caerfyrddin  
Carmarthenshire

Project: **PROPOSED NEW PENYGGROES CONCRETE LTD. DRAINAGE**

Drawn By: SC Date: 09.05.18 Checked: ABW Date: 11/05/18

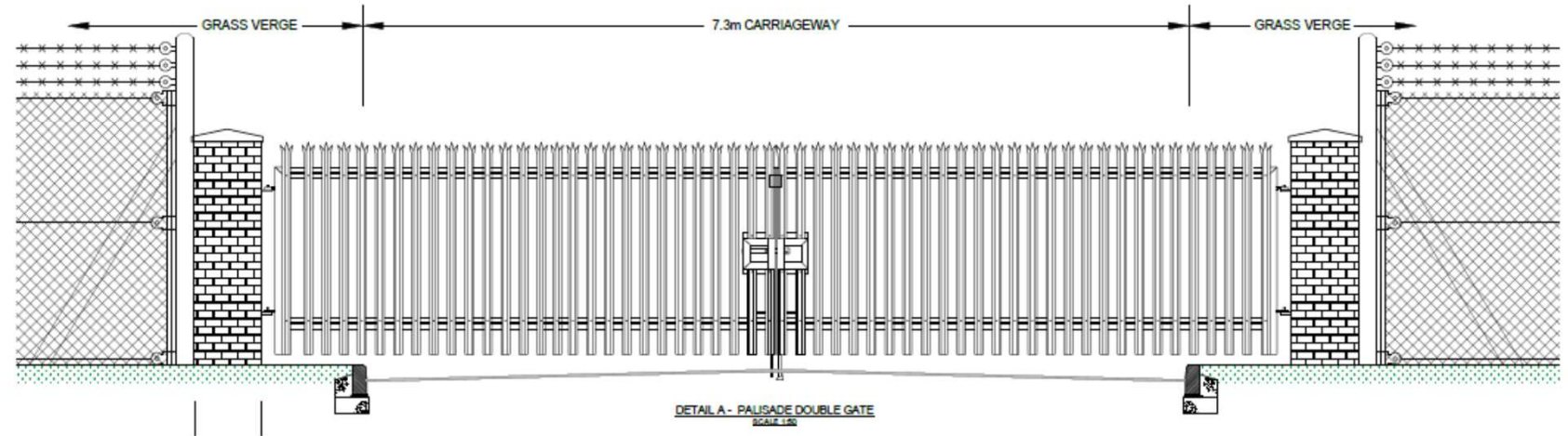
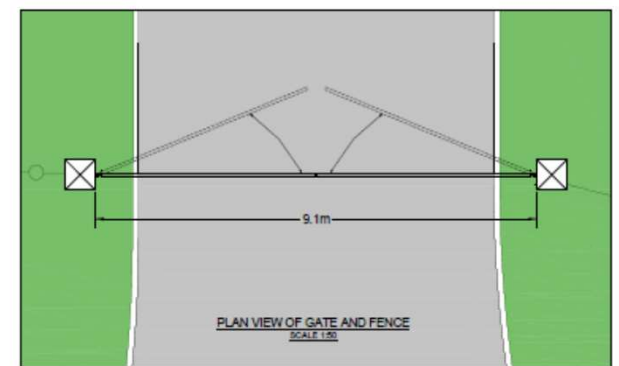
Scale: 1:500 Plan, 1:200 Section

# 37648



DETAIL C  
SCALE 1:50

DETAIL B - CHAIN LINK FENCE PANEL  
SCALE 1:50



Tudalen 17

Stephan G Hillier  
Penarth Tŷfidiwrth a Phactoring  
Adrian Angelides, Ste 1,  
Park Meadows, West Dew,  
Caerhydri  
St Caerhydri Ste 100, SAU 3HQ

PROPOSED NE  
PENYGROES CON  
LT

FENCING / ACCESS  
DET

27/03/18 ABW

PLANNING APPLICAT

AS SHOWN



37648

Fuddalen 18





37648



Tudalen 19



37648

Fuddalens 20





37648



Tudalen 21

37648  
Fudalen 22





37648



Tudalen 23

37648  
Fudalen 24



*Ardal Del/  
Area South*

**ADRODDIAD PENNAETH  
CYNLLUNIO,  
CYFARWYDDIAETH YR  
AMGYLCHEDD**

**REPORT OF THE  
HEAD OF PLANNING,  
DIRECTORATE OF ENVIRONMENT**

**AR GYFER PWYLLGOR CYNLLUNIO  
CYNGOR SIR CAERFYRDDIN/**

**TO CARMARTHENSHIRE COUNTY  
COUNCIL'S PLANNING COMMITTEE**

**AR 07 CHWEFROR 2019  
ON 07 FEBRUARY 2019**

***I'W BENDERFYNU/  
FOR DECISION***

**ATODIAD  
ADDENDUM**



## ADDENDUM – Area South

<i>Application Number</i>	<b>S/36837</b>
<i>Proposal &amp; Location</i>	VARIATION OF CONDITIONS 2, 7 & 9 OF PLANNING PERMISSION S/32708 AT FORMER GWENLLIAN COURT HOTEL, MYNYDDYGARREG, KIDWELLY, SA17 4LW

### **DETAILS:**

Given the fact that part of the original scheme has been implemented and the older part of the hotel has been demolished, there are some amendments required to the original conditions as they are no longer required.

### **CONDITIONS**

Condition and reason 19 & 21 need to be deleted as a photographic survey was submitted as required by the previous permission prior to the demolition of the building and also the ecological information is no longer relevant at this stage.

Reason 1 also needs amendment and should read:-

### **REASONS**

- 1 To comply with Section 73A of the Town and Country Planning Act (as amended).





---

***Y PWYLLGOR  
CYNLLUNIO***

**PLANNING  
COMMITTEE**

***07 CHWEFROR 2019***

**07 FEBRUARY 2019**

***RHANBARTH Y DE***

**AREA SOUTH**

***CEISIADAU YR ARGYMHELLIR EU  
BOD YN CAEL EU CYMERADWYO***

**APPLICATIONS RECOMMENDED  
FOR APPROVAL**





**S/36837**

# S/36837



# S/36837



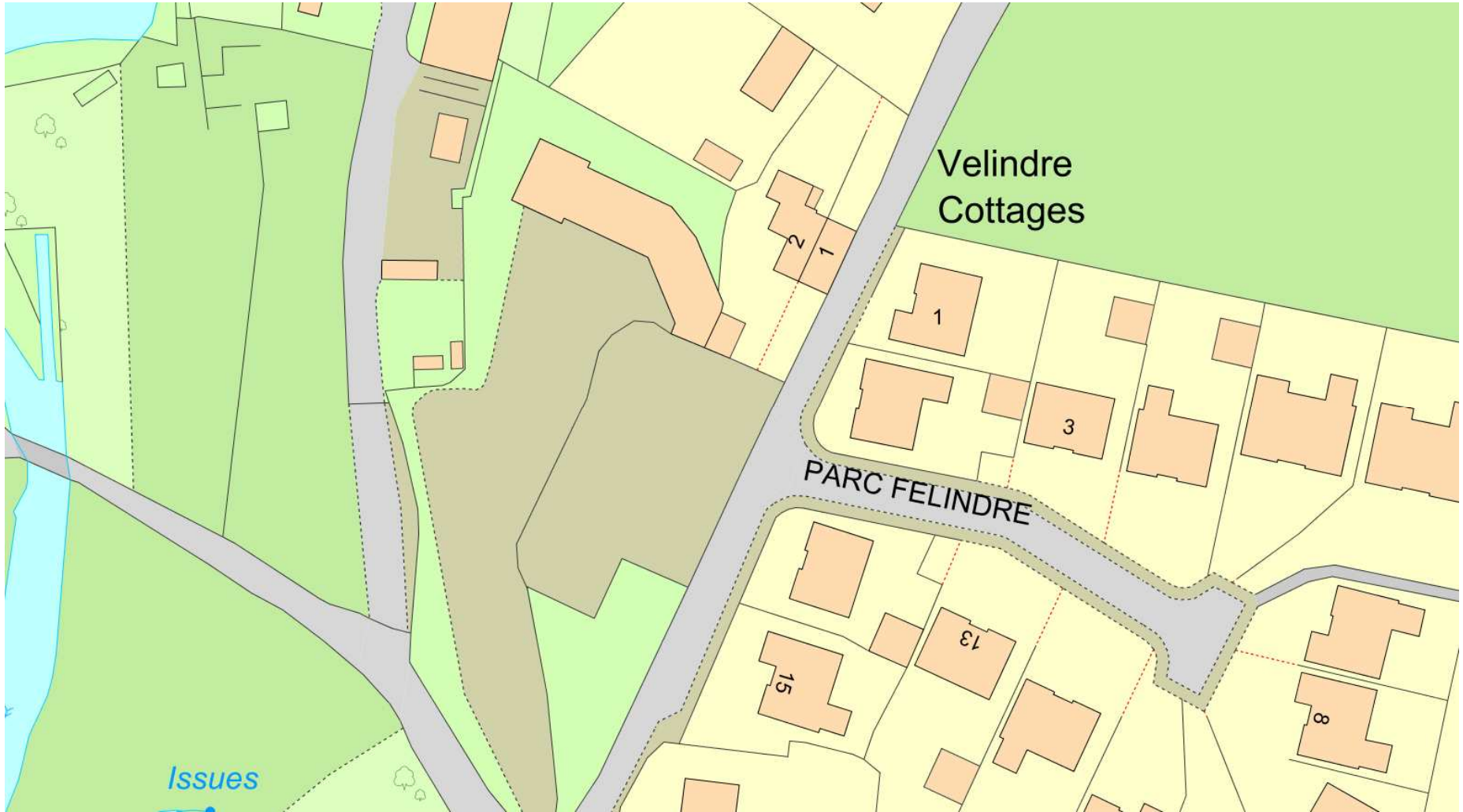


Tudalen 32

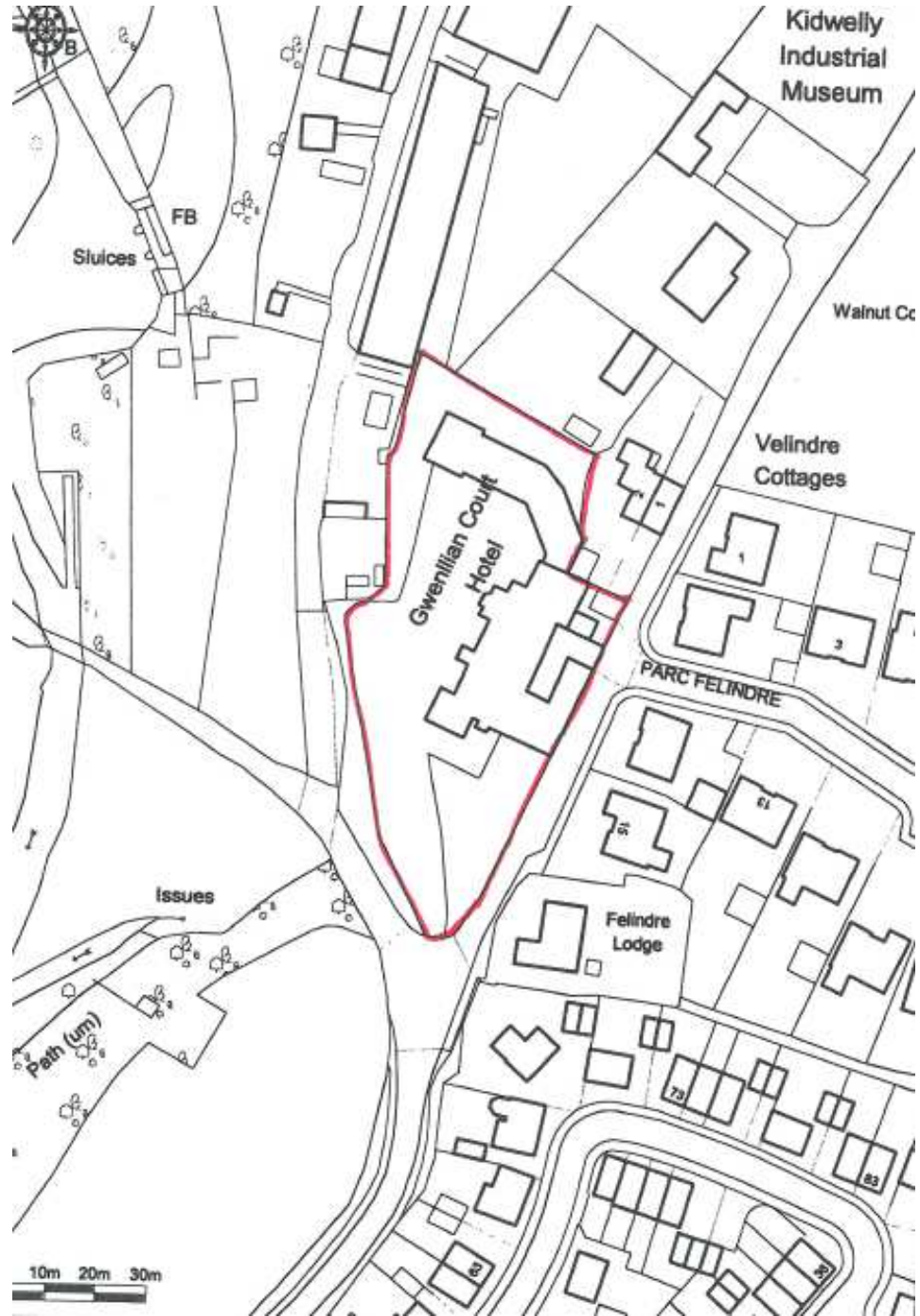
# S/36837



# S/36837



# S/36837



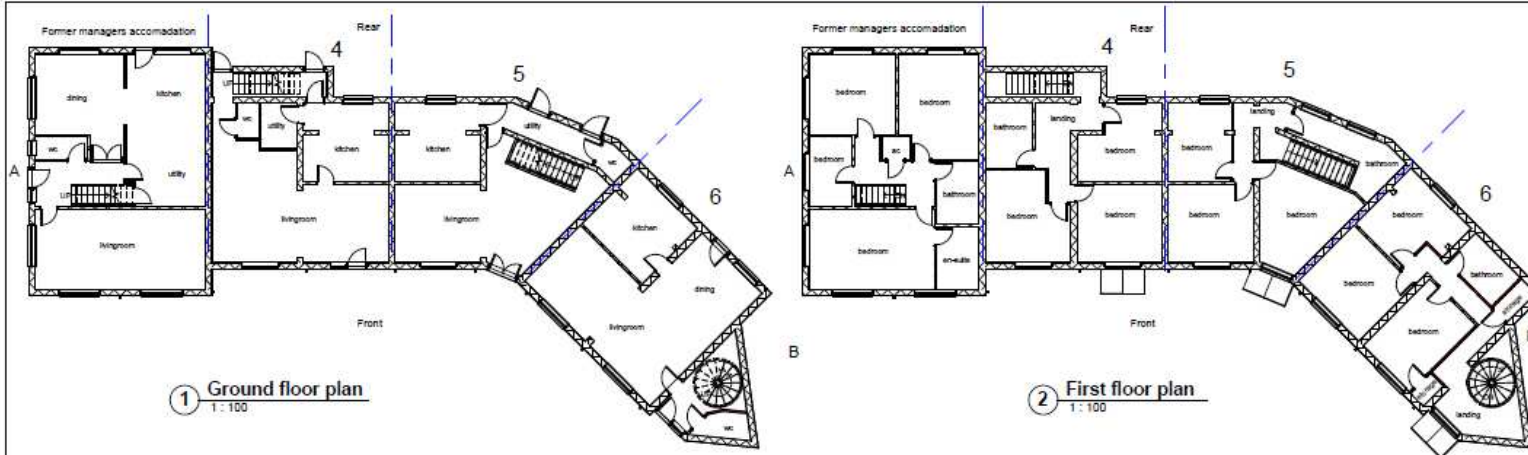


# S/36837



	No.	Description	Date		PROJECT	Proposed Residential development at former Gwennlian Court Hotel			CLIENT					
					CODE	STATUS	SUITABILITY DESCRIPTION	PURPOSE OF ISSUE	Block plan	Date	26/11/2018	Scale (@ A3)	1 : 500	
							Planning		Author		DRAWING NUMBER	MB0022	REV	H

# S/36837



External finishes  
grey roof tiles  
painted smooth render  
dark grey window, doors and rainwater goods

Rev	Description	Date

CODE	SUITABILITY DESCRIPTION
STATUS	PURPOSE OF ISSUE
	planning

PROJECT  
Gwenllian Annex

Proposed plans and elevations

DRAWN BY Author	CHECKED BY Checker	DATE 25/03/2015
SCALE (if A1) 1:100	PROJECT NUMBER Project Number	
DRAWING NUMBER GA003		REV



S/36837



Tudalen 37



S/36837





S/36837



Tudalen 39



Tudalen 40

S/36837





S/36837





Tudalen 42

S/36837





**S/36837**



Tudalen 43



Tudalen 44

S/36837





S/36837



Tudalen 45



Tudalen 46

S/36837





S/36837





Tudalen 48

S/36837





**S/36837**



Tudalen 49



Tudalen 50

S/36837





# S/37798



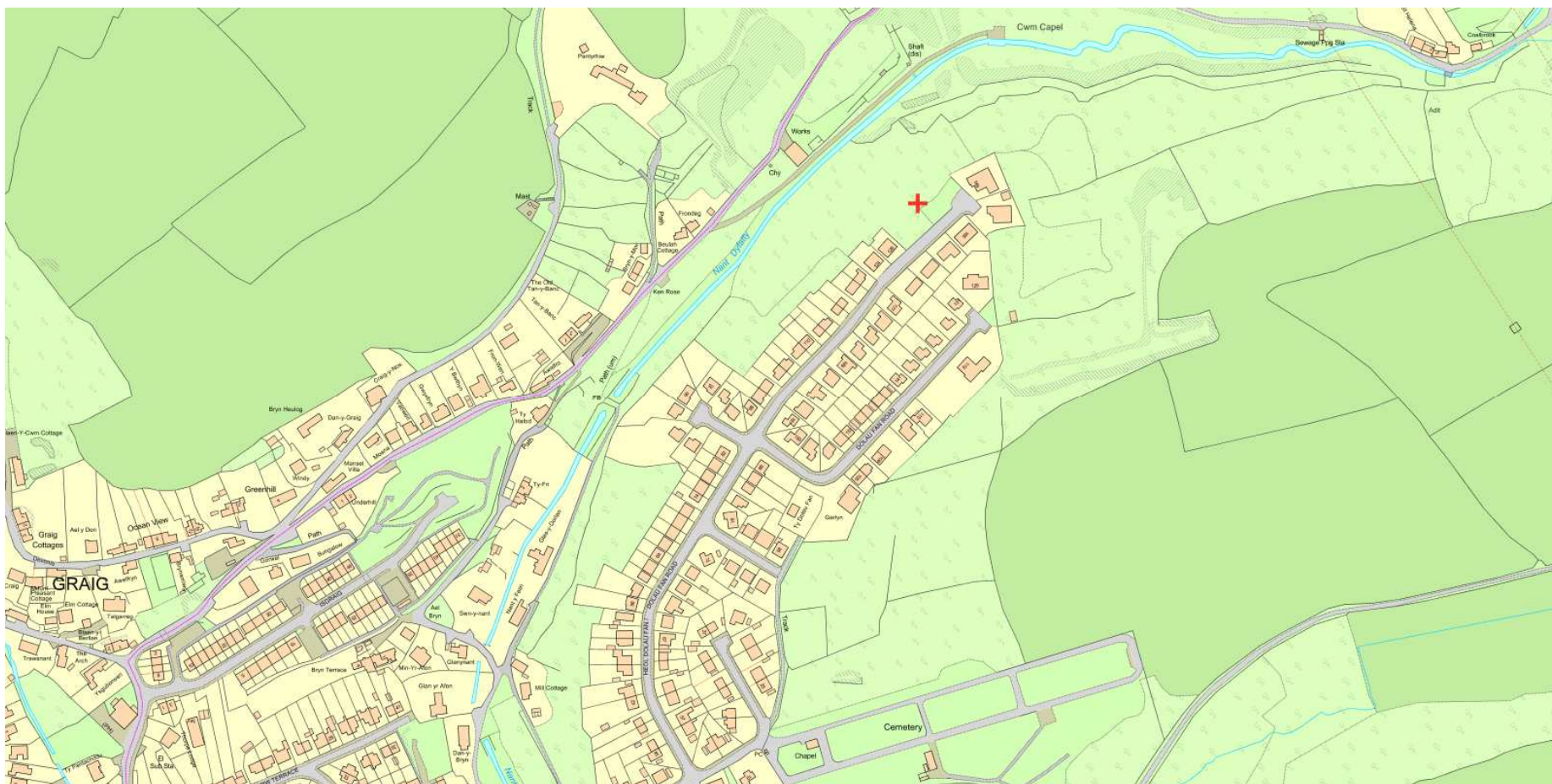
Tudalen 52

# S/37798





# S/37798



Tudalen 53





# S/37798



Tudalen 55













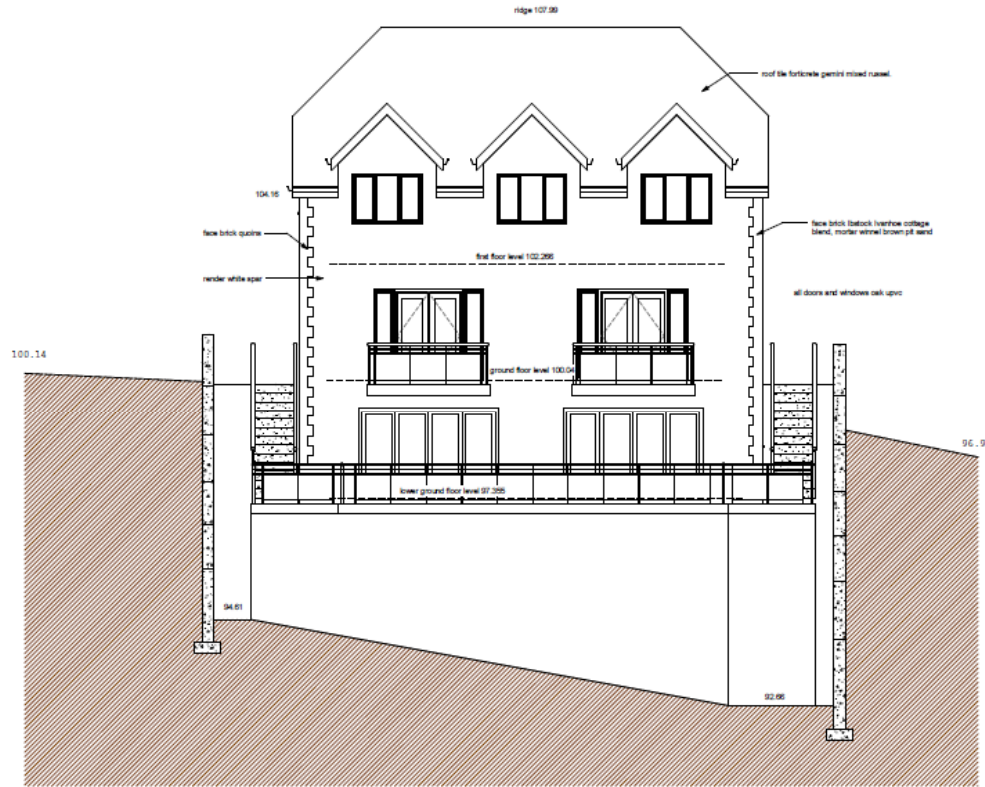








# S/37798



1 Rear elevation  
1 : 50

Planning

No.	Description	Date

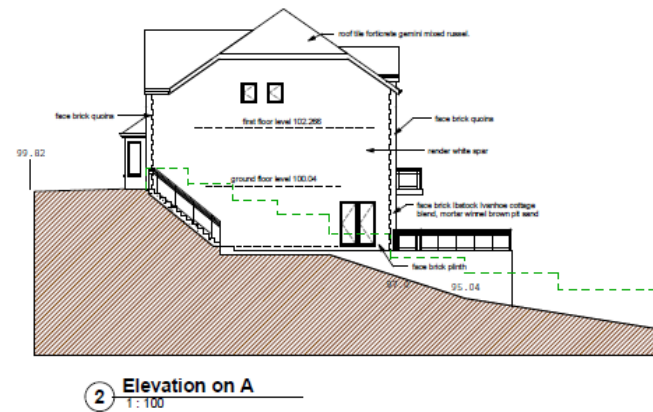
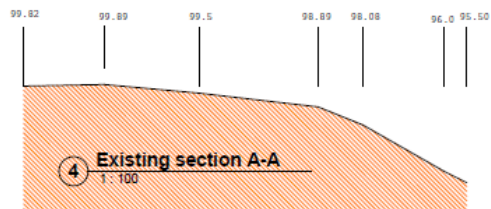
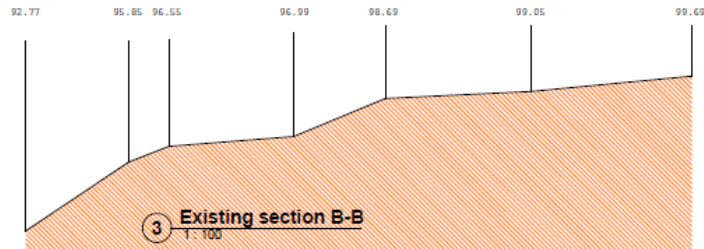
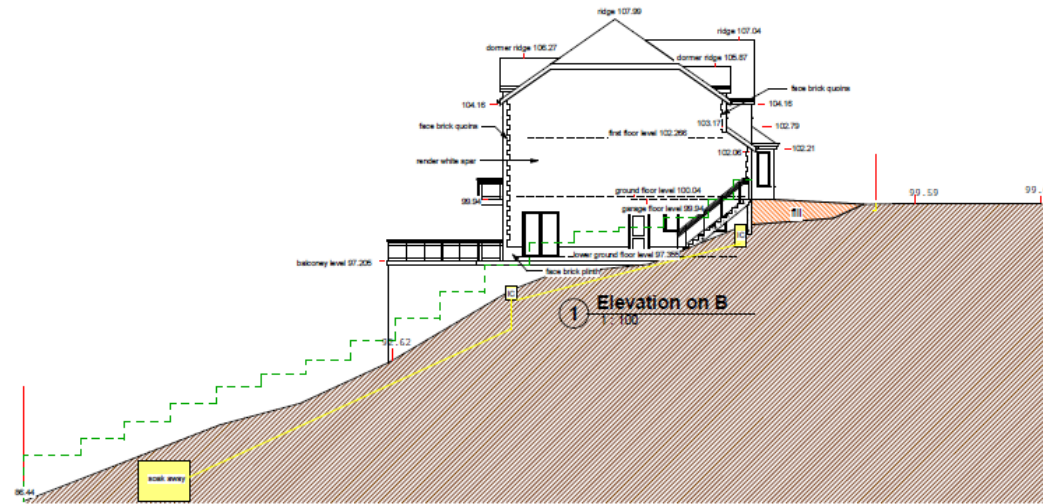
Plot 9  
Dolau fan, Burry port,  
Carmarthenshire, SA16 0RG

**Rear elevation**

Project number	2658
Date	03/06/2018 Issue Date
Drawn by	Author
Checked by	Checker
<b>A107</b>	
Scale	1 : 50

# S/37798

Tudalen 63



Planning

No.	Description	Date

Plot 9  
Dolau fan, Burry port,  
Carmarthenshire. SA16 0RG

## Elevations A B

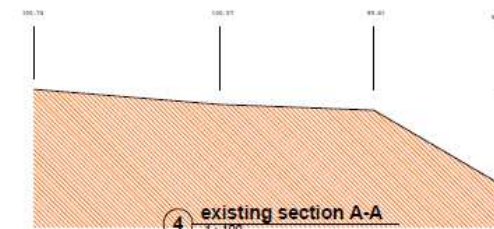
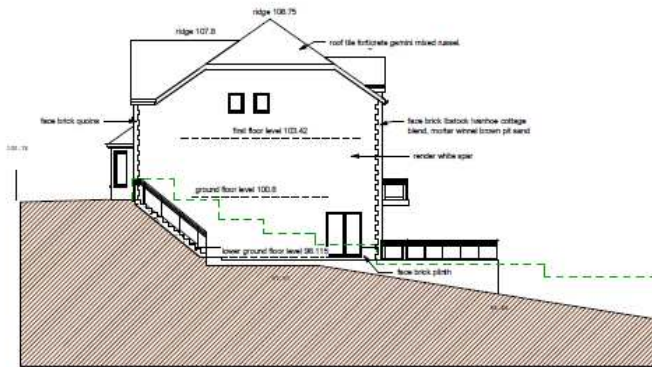
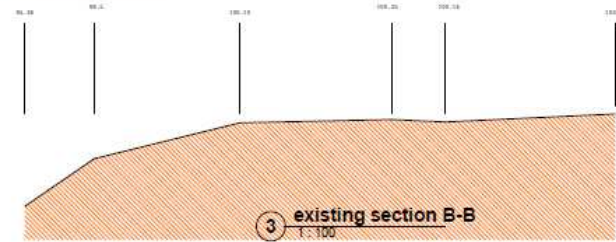
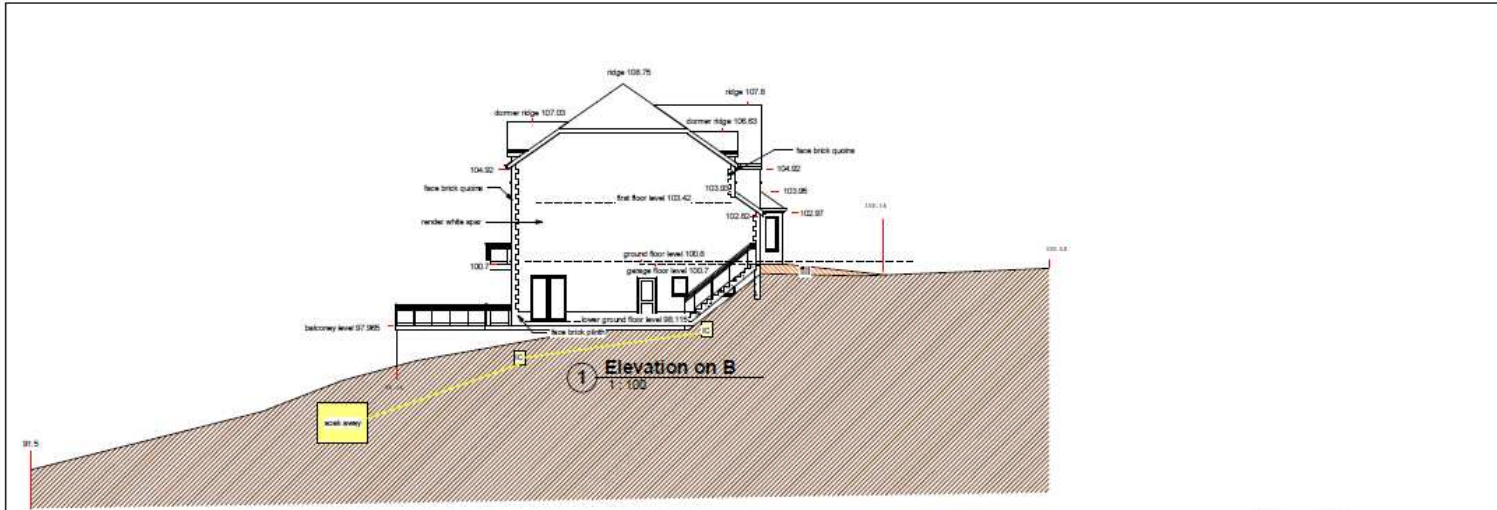
Project number	2658
Date	21/11/2018
Issue Date	
Drawn by	Author
Checked by	Checker

A106

Scale	1 : 100
-------	---------



# S/37798



Planning

No.	Description	Date

Plot 8  
Dolau fan, Burry port,  
Carmarthenshire. SA16 0RG

## Elevations A B

Project number	2658
Date	25/11/2018
Issue Date	
Drawn by	Author
Checked by	Checker

A111

Scale 1 : 100

# S/37798



Tudalen 65



Tudalen 66

**S/37798**



# S/37798



Tudalen 67



Tudalen 68

# S/37798

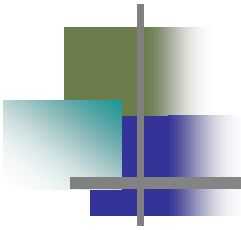


**S/37798**



Tudalen 69





# S/38052

# S/38052



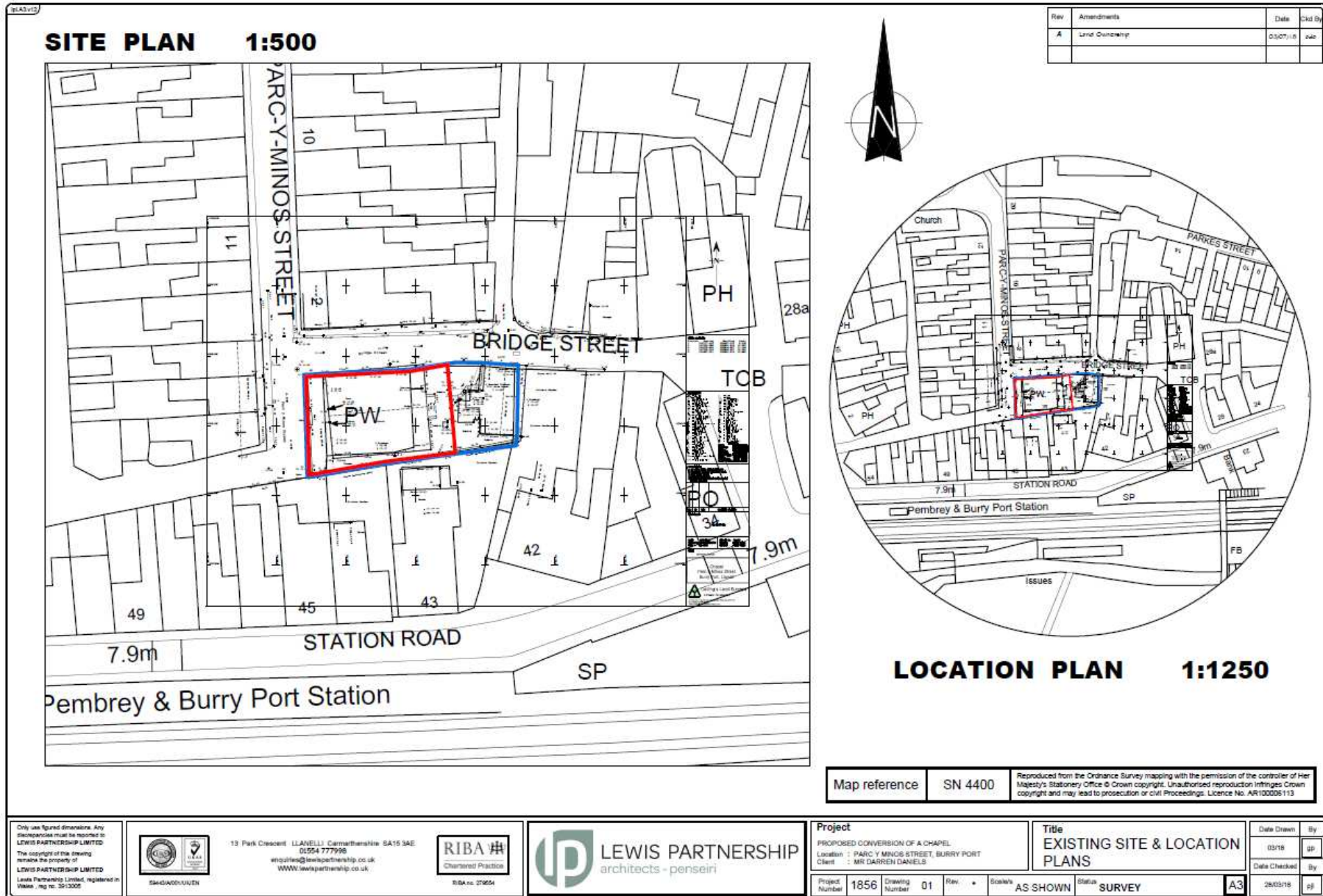
Tudalen 71



# S/38052

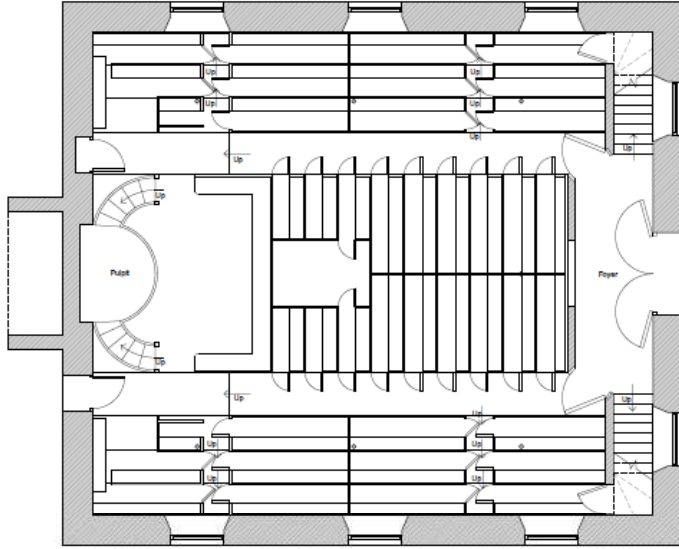


# S/38052

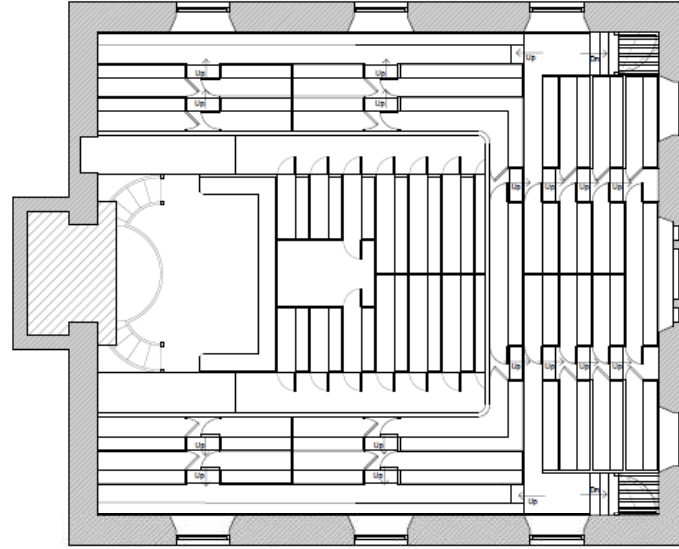




# S/38052



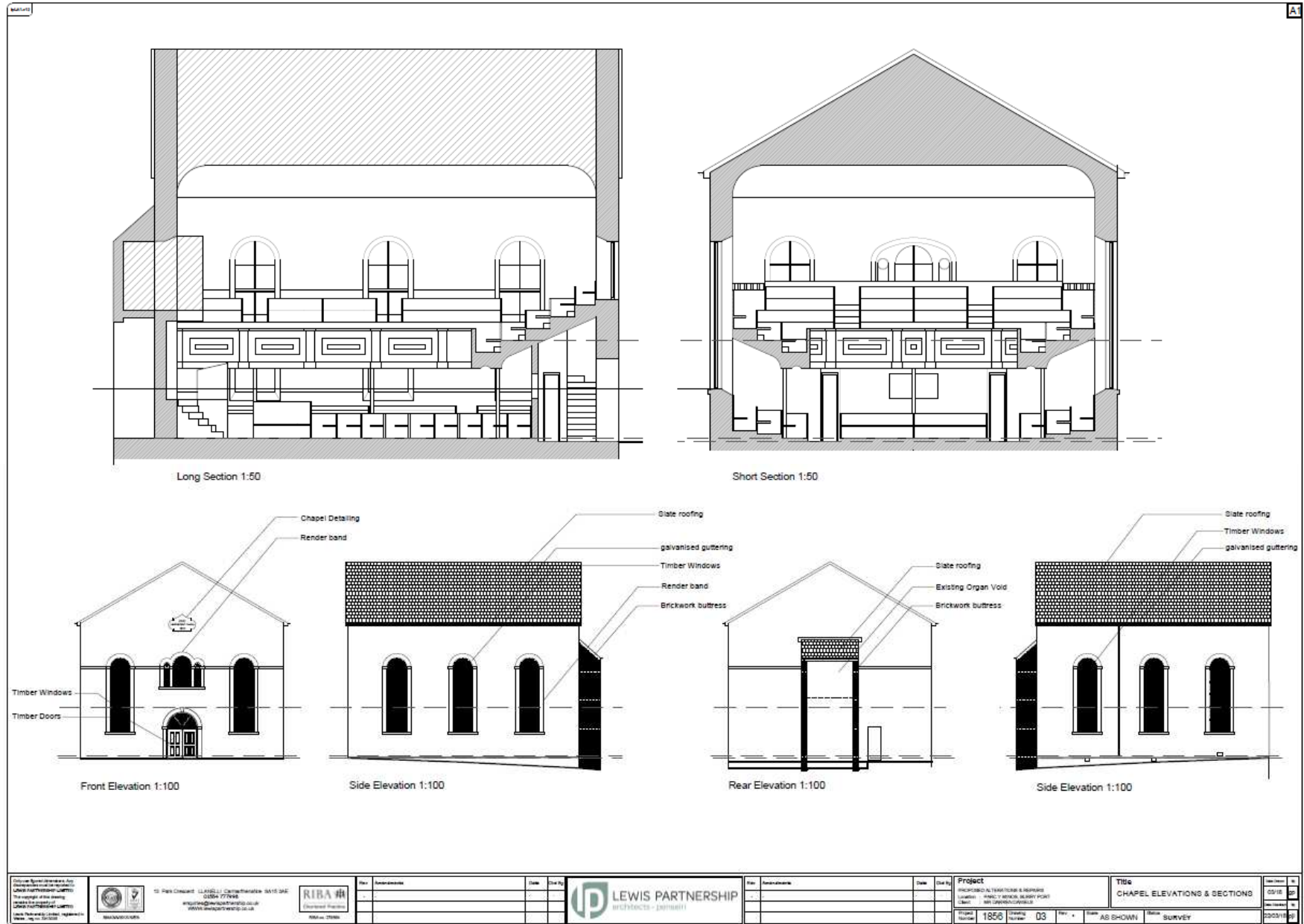
Ground Floor Plan 1:50



First Floor Plan 1:50

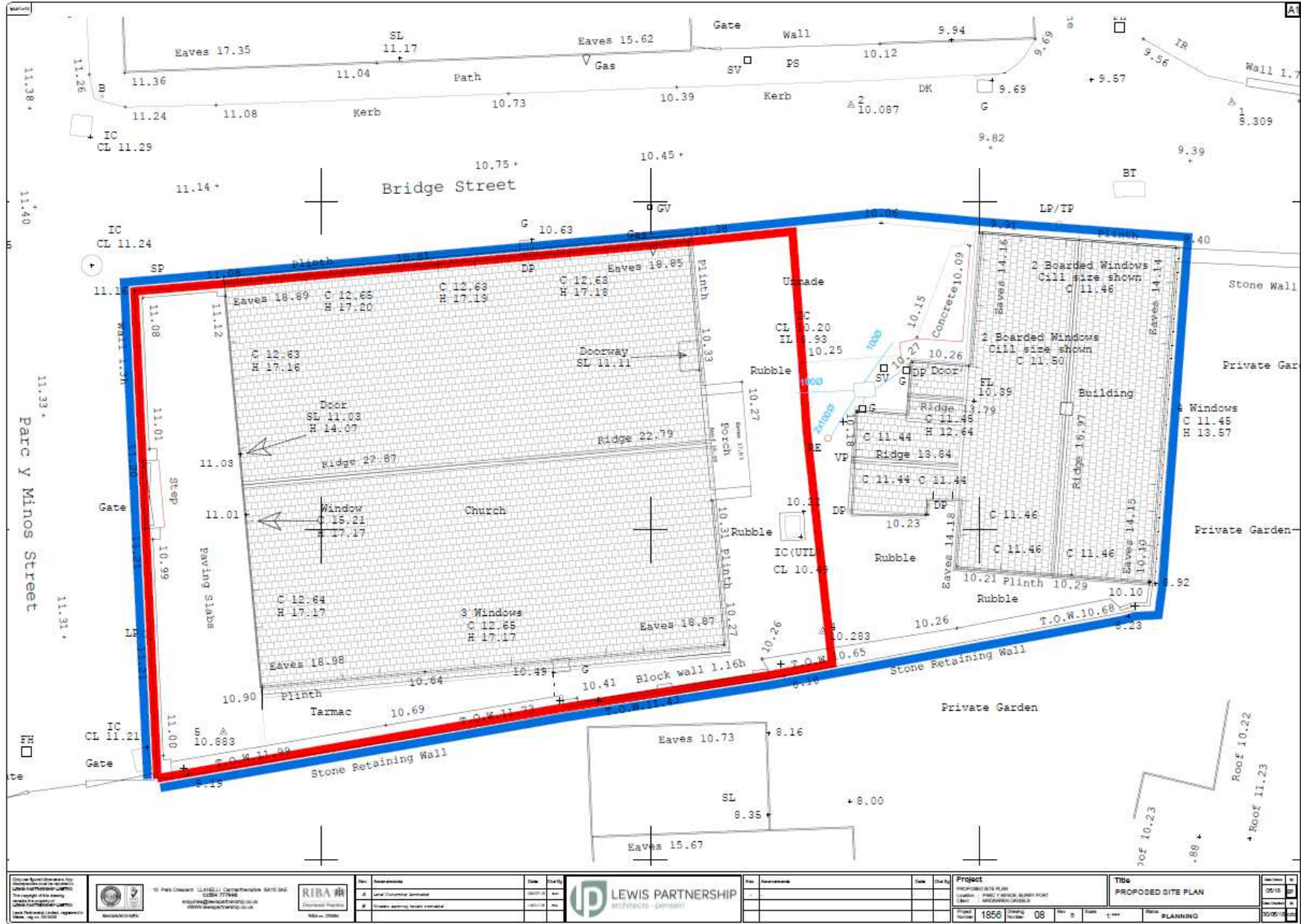
<small>© Lewis Partnership Architects LLP                  2018. All rights reserved. No part of this document may be reproduced without the prior written permission of Lewis Partnership Architects LLP.</small> The copyright of this drawing remains the property of LEWIS PARTNERSHIP ARCHITECTS Lewis Partnership Limited, registered in England, company number 10111338	13 Park Square, LEWISLEIGH, Leicestershire LE15 3AQ 01530 777998 info@lewispartnership.co.uk www.lewispartnership.co.uk	RIBA Chartered Architect	Rev	Revisions/Date	Date	Drawn By	LEWIS PARTNERSHIP ARCHITECTS + PARTNERS	Rev	Revisions/Date	Date	Drawn By	Project PROPOSED ALTERNATIONS & EXTENSION 13 PARK SQUARE, LEWISLEIGH, LEICESTERSHIRE LE15 3AQ	Title EXISTING PLANS	Issue No. 0315	Issue Date 23/03/18
										Project Number 1856	Drawing Number 02	Rev AS SHOWN	Issue SURVEY	Issue Date 23/03/18	

# S/38052





# S/38052



10 Park Square, Leeds LS2 9PL  
 0113 245 7799  
 www.lewispartnership.co.uk

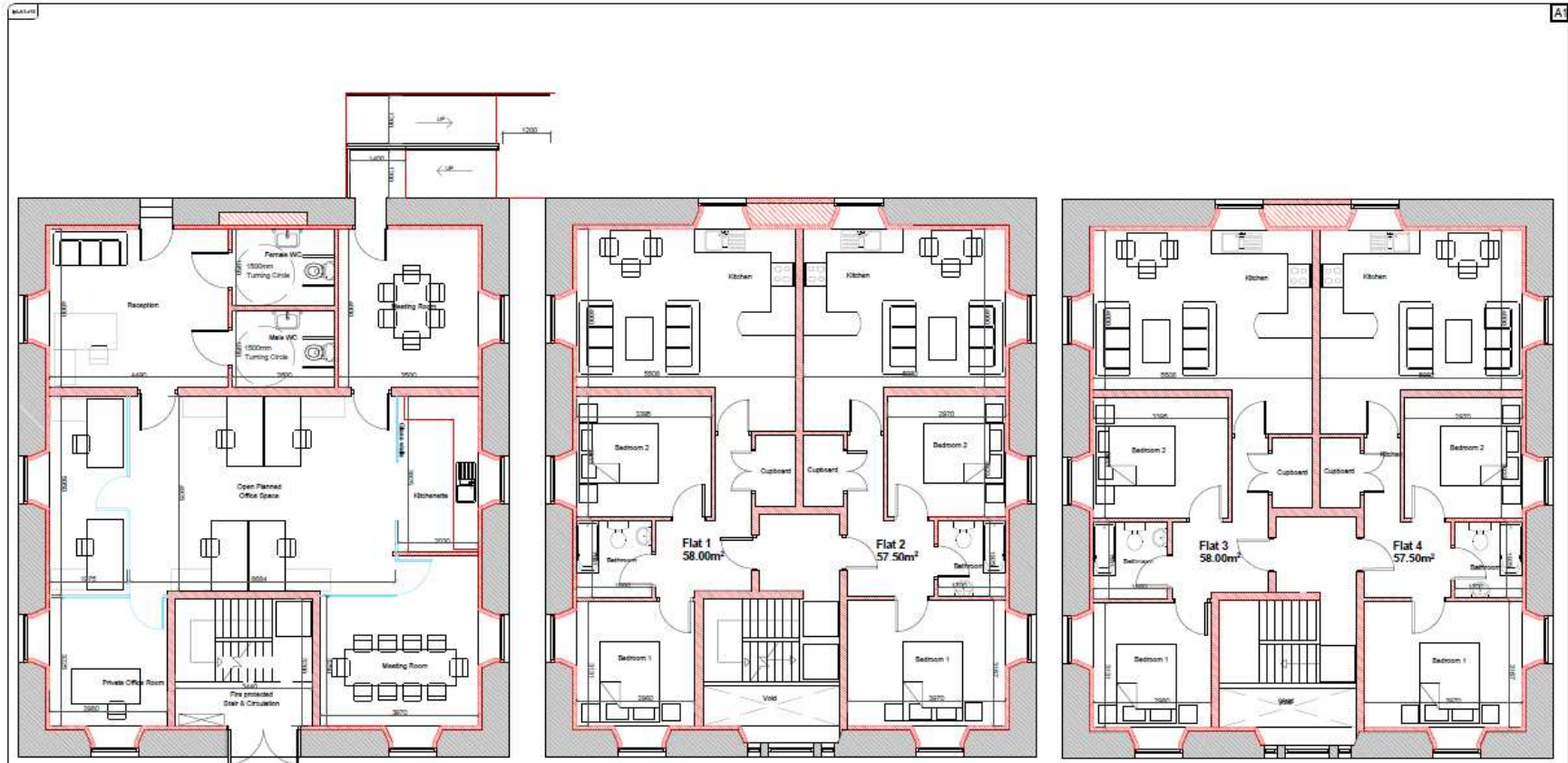
Rev	Description	Date	Drawn
A	Final Client Approval	08/01/16	AW
B	Structural details, layout corrected	08/01/16	AW

**LEWIS PARTNERSHIP**  
 architects - planners

Rev	Description	Date	Drawn
1	PROPOSED SITE PLAN		
2	AMENDMENTS		

Project	Title	Scale	Date
1856	PROPOSED SITE PLAN	1:100	08/01/16

# S/38052



Ground Floor Plan 1:50

First Floor Plan 1:50

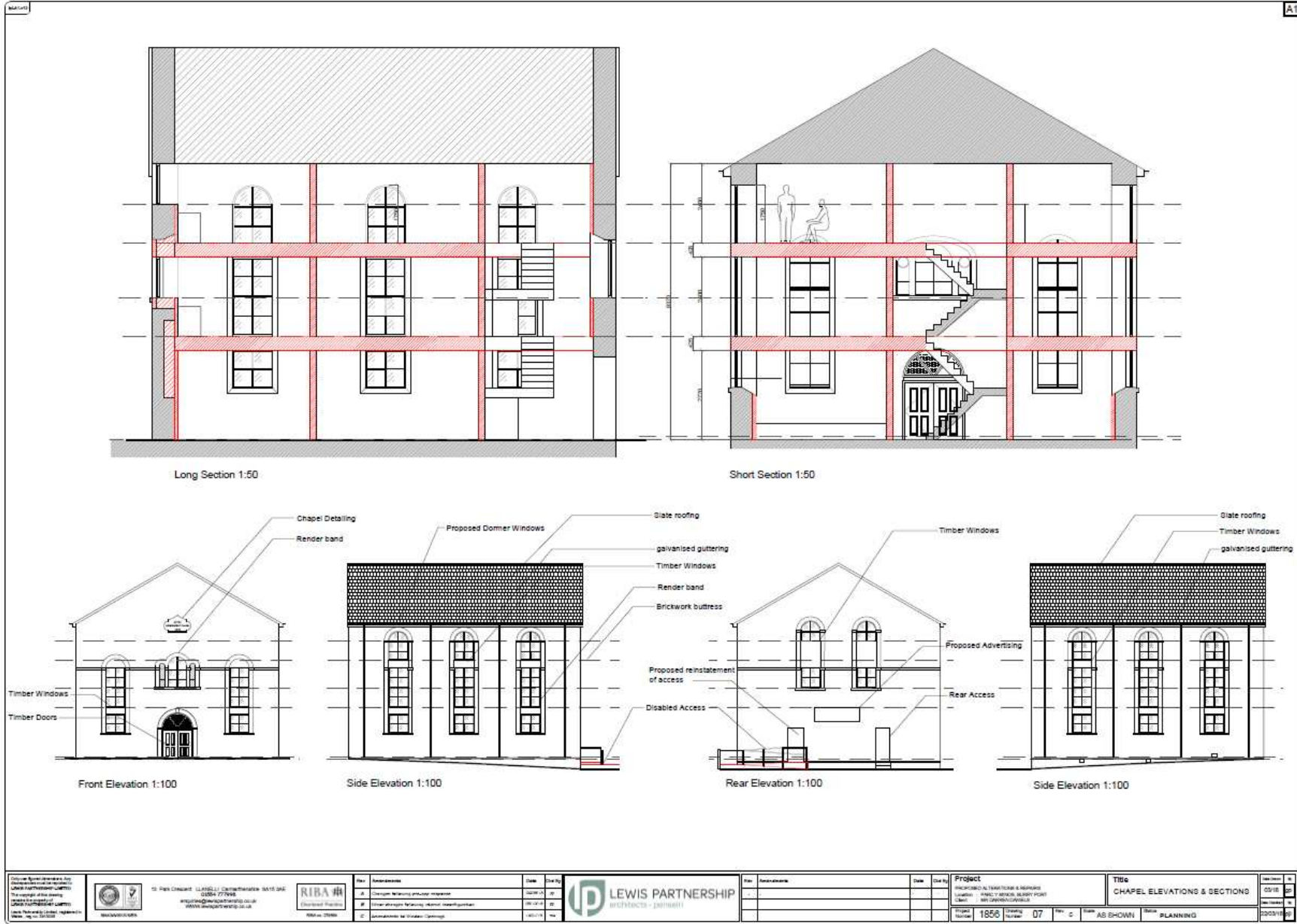
Second Floor Plan 1:50

Tudalen 77

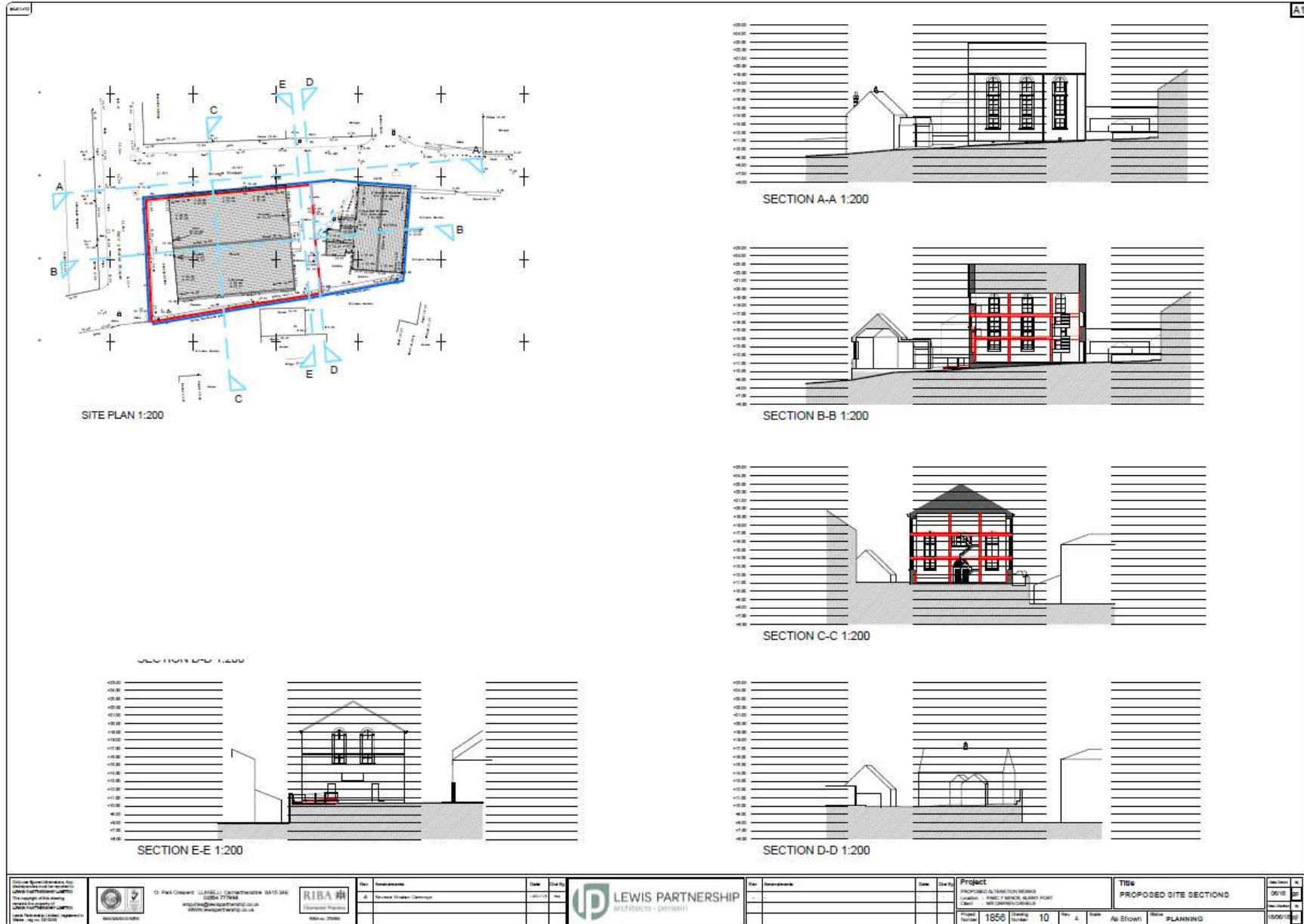
<p>City and County Development, Ltd. Development Land (100%) LEWIS PARTNERSHIP LIMITED The registered company INCORPORATED IN ENGLAND LEWIS PARTNERSHIP LIMITED Lewis Partnership (Land) Agreement Version: 03/03/2018</p>	<p>13 Park Crescent, LONDON, Corporation RATE 5475 5487 020 7734 7700 020 7734 7700 020 7734 7700</p>	<p>RIBA 118 Approved Practice</p>	<p>Rev: 01</p>	<p>Date: 2018-03-29</p>	<p>Drawn by: [Name]</p>	<p>Project: PROPOSED ALTERNATIVES &amp; SCHEMATIC LOCATION: 13 PARK CRESCENT, LONDON, W1K 1JQ Client: CITY AND COUNTY DEVELOPMENT, LTD.</p>	<p>Title: FEASIBILITY PLANS</p>	<p>Issue No: 01 Date: 03/18 Scale: 1:50 Status: FEASIBILITY</p>
			<p>Rev: 02</p>	<p>Date: 2018-03-29</p>	<p>Drawn by: [Name]</p>			



# S/38052



# S/38052





Tudalen 80

# S/38052



# S/38052



Tudalen 81



Tudalen 82

# S/38052



**S/38052**



Tudalen 83



Tudalen 84

# S/38052



**S/38052**



Tudalen 85



Tudalen 86

# S/38052



# S/38052



Tudalen 87



Tudalen 88

# S/38052



*Ardal  
Gorllewin/  
Area West*

**ADRODDIAD PENNAETH  
CYNLLUNIO,  
CYFARWYDDIAETH YR AMGYLCHEDD**

**REPORT OF THE  
HEAD OF PLANNING,  
DIRECTORATE OF ENVIRONMENT**

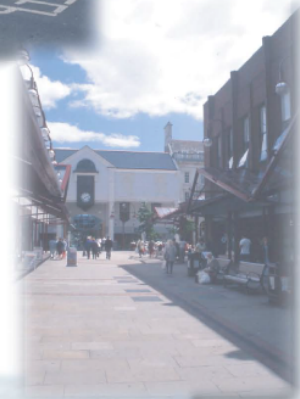
**AR GYFER PWYLLGOR CYNLLUNIO  
CYNGOR SIR CAERFYRDDIN**

**TO CARMARTHENSHIRE COUNTY  
COUNCIL'S PLANNING COMMITTEE**

**AR 07 CHWEFROR 2019  
ON 07 FEBRUARY 2019**

**I'W BENDERFYNU/  
FOR DECISION**

**ADDENDUM**





## ADDENDUM – Area West

<i>Application Number</i>	<b>W/38150</b>
<i>Proposal &amp; Location</i>	RENEWAL OF EXPIRED PLANNING APPROVAL (W/20486) RESIDENTIAL DWELLING AT 14 HEOL GWERMONT, LLANSAINT, KIDWELLY, SA17 5JA

### **DETAILS:**

It is recommended that the text “The relevant policies are:-” in the report’s Planning Policy section is deleted on grounds of duplication.

The recommendation in the main report is one of approval subject to the applicant obtaining Conservation Area Consent for the demolition of the existing building on site. To date this application for Conservation Area Consent has not been formally registered, however, the applicant’s agent notified the case officer on 4th February 2019 that it has been submitted electronically to the Local Planning Authority. It is expected that the application will be validated formally once received and checked by the case officer.

An additional advisory note is also proposed referring to the amount required for the affordable housing contribution, as follows:

### **NOTE**

- 1 The applicant is advised that this planning permission is subject to the applicant/developer first entering into a Section 106 Agreement/Unilateral Undertaking for the provision of a financial contribution of £6,162.36 towards affordable housing.



---

***Y PWYLLGOR  
CYNLLUNIO***

**PLANNING  
COMMITTEE**

***07 CHWEFROR 2019***

**07 FEBRUARY 2019**


***RHANBARTH Y  
GORLLEWIN***

**AREA  
WEST**



***CEISIADAU YR ARGYMHELLIR EU  
BOD YN CAEL EU CYMERADWYO***

**APPLICATIONS RECOMMENDED  
FOR APPROVAL**



# W/38150



# W/38150



200 m  
1000 ft  
1 : 20,000  
238305.80, 206678.94

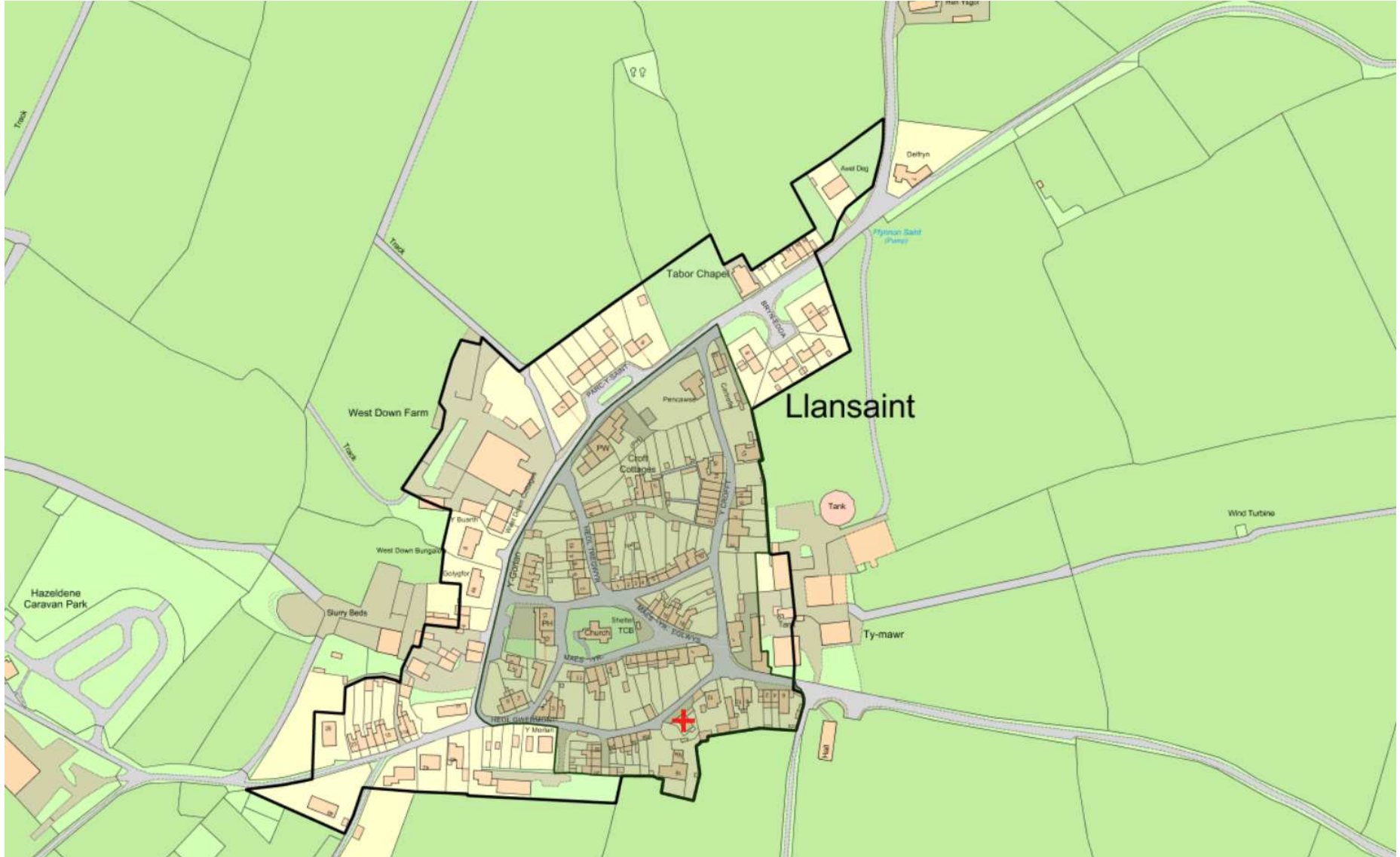


# W/38150

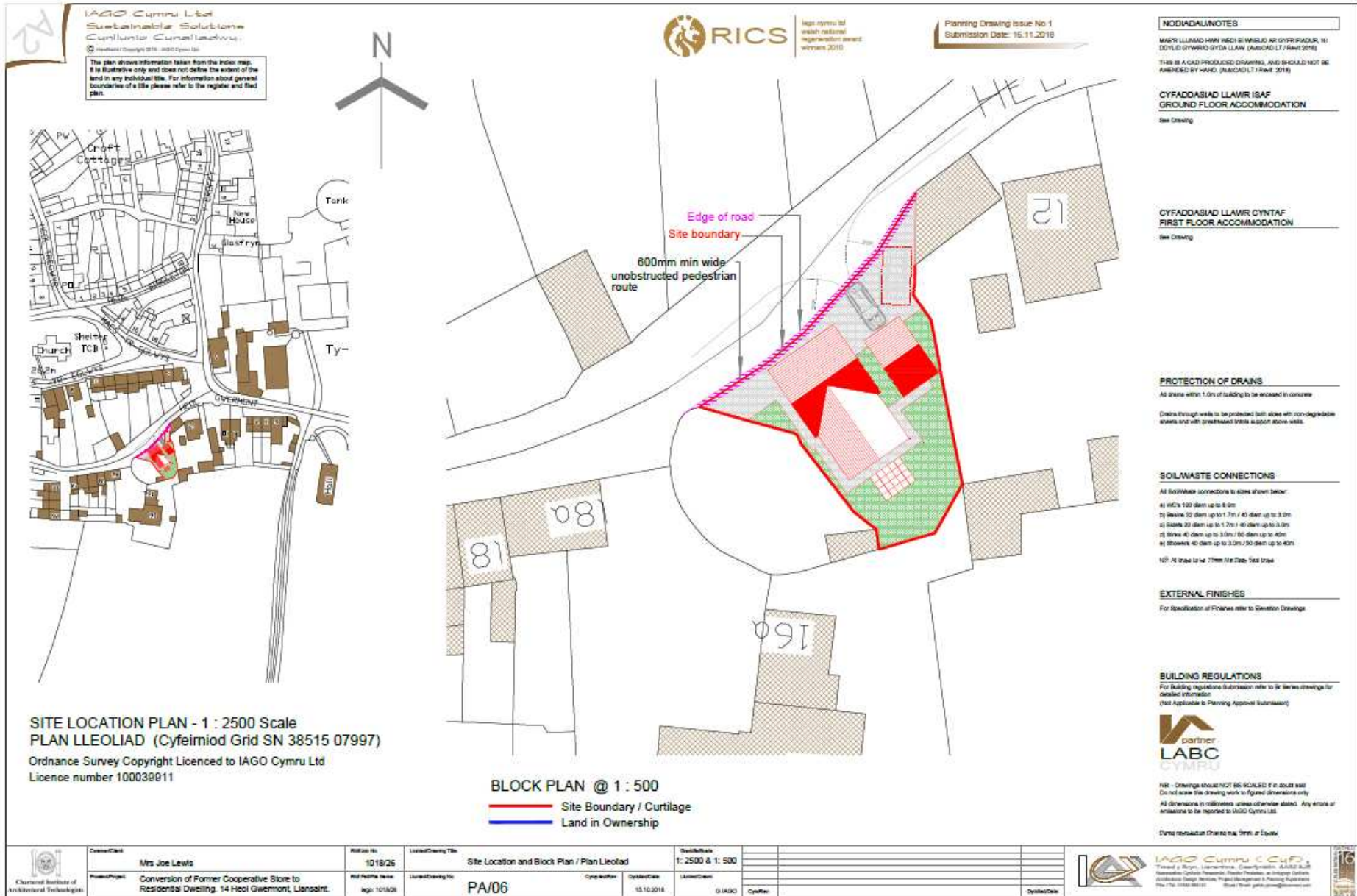




# W/38150



# W/38150




Tudalen 97


	Client/Client	Mrs Joe Lewis	Project No.	1018/25	Location/Project Title	Site Location and Block Plan / Plan Lleoliad	Scale/Scale	1: 2500 & 1: 500				
	Project/Project	Conversion of Former Cooperative Store to Residential Dwelling 14 Heol Gwernont, Lansaint.	Ref Number/Ref No.	1018/25	Location/Project Title	PA/06	Client/Client	IAGO	Project/Project	15.10.2018	Location/Project Title	



# W/38150




**IAGO Cymru Ltd**  
Sustainable Solutions  
Cwmllunio Cymraeg Iechyd  
© Newydd / Copyright 2018 - IAGO Cymru Ltd




RICS  
The Institution of  
Registered Chartered  
Surveyors

Planning Drawing Issue No 1  
Submission Date: 16.11.2018

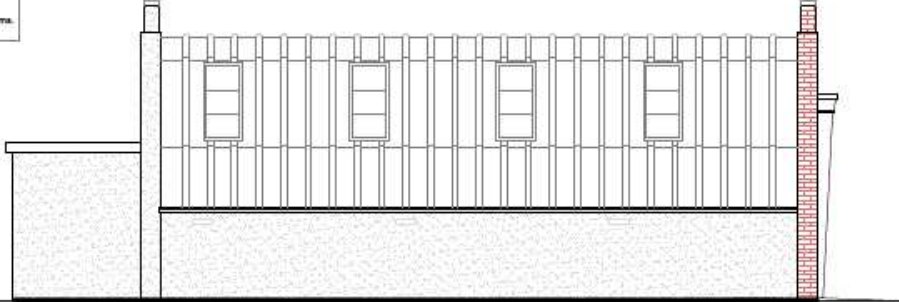
NOT FOR CONTRACT USE - FOR DETAILED PLANNING APPLICATION USE ONLY



graddfa fedrig / scale in metres



Wyneb i'r Gogledd Gorllewin / North West Elevation - Existing



Wyneb i'r Gogledd Dwyrain / North East Elevation - Existing

**NODIADAU/NOTES**

MATER LLEWID HMN WEDI'RHWMLAU AR GYFRADUR, NI DDYLLID GWYBOD GWYDA LLAW (AUSCAD LT / Revd 2018)

THIS IS A CAD PRODUCED DRAWING, AND SHOULD NOT BE AMENDED BY HAND (AUSCAD LT / Revd 2018)

---

**CYFADDASIAD LLAWR ISAF**  
GROUND FLOOR ACCOMMODATION

See Drawing

---

**CYFADDASIAD LLAWR CYNTAF**  
FIRST FLOOR ACCOMMODATION

See Drawing

---

**PROTECTION OF DRAINS**

All drains within 1.0m of building to be enclosed in concrete

Drains through walls to be protected both side with non-degradable sheets and with prestressed bricks support above walls.

---

**SOIL/WASTE CONNECTIONS**

All Soil/Waste connections to sizes shown below

- (1) 100mm 100 diam up to 6.0m
- (2) 150mm 150 diam up to 1.7m / 40 diam up to 3.0m
- (3) 200mm 200 diam up to 1.7m / 40 diam up to 3.0m
- (4) 250mm 40 diam up to 3.0m / 50 diam up to 4.0m
- (5) 300mm 40 diam up to 3.0m / 50 diam up to 4.0m

100 - All traps to be 775mm Air Brake Seal traps

---


**EXTERNAL FINISHES**

For Specification of Finishes refer to Specification Drawings

---


**BUILDING REGULATIONS**

For Building Regulations Submission refer to or draw drawings for detailed information.  
(Not Applicable to Planning Approval Submission)



Chartered Institute of  
Architectural Technologists

<p><b>Client:</b> Mrs Joe Lewis</p>	<p><b>Revision No:</b> 1018/26</p>	<p><b>Level/Drawing Title:</b> Existing Elevations</p>	<p><b>Scale/Block:</b> 1 : 50</p>		
<p><b>Project:</b> Conversion of Former Cooperative Store to Residential Dwelling, 14 Heol Gwernont, Llansaint</p>	<p><b>Site/Project Name:</b> 14 Heol Gwernont</p>	<p><b>Level/Drawing No:</b> PA/02</p>	<p><b>Author/Date:</b> G.IAGO 15.10.2018</p>	<p><b>Checker:</b></p>	<p><b>Designer:</b></p>



**IAGO Cymru C.CyFD**  
Tudalen 2 Brodyr, Llansaint, Gwynedd, Blaenau Gwent  
Sustainable Solutions  
Architectural Design Services, Project Management & Planning Services  
Tel: 01534 881000 Email: info@iagocymru.co.uk

# W/38150

LAGO Cymru Ltd  
Sustainable Solutions  
Cwmwlunio Cymal Iechyd.  
© 2018. All rights reserved.



ago cynnu ltd  
welsh national  
registration award  
winners 2010

Planning Drawing Issue No 1  
Submission Date: 16.11.2018

### NODIADAU/NOTES

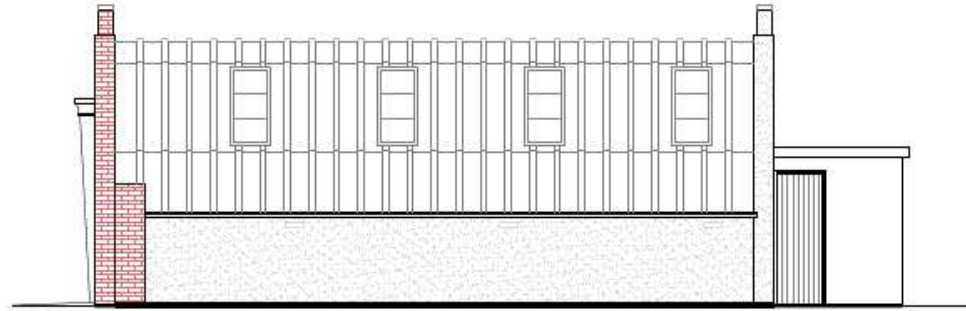
MAYR LLIND HAW WEDI GYFLWELIO AR GYFFWRDUR, 14  
DEYL GYWRD-GYDA LLAW (AUSCAD LT / Revd 2018)  
THIS IS A CAD PRODUCED DRAWING AND SHOULD NOT BE  
AMENDED BY HAND (AUSCAD LT / Revd 2018).

### CYFADDASIAID LLAWR ISAF GROUND FLOOR ACCOMMODATION

See Drawing

### CYFADDASIAID LLAWR CYNTAF FIRST FLOOR ACCOMMODATION

See Drawing



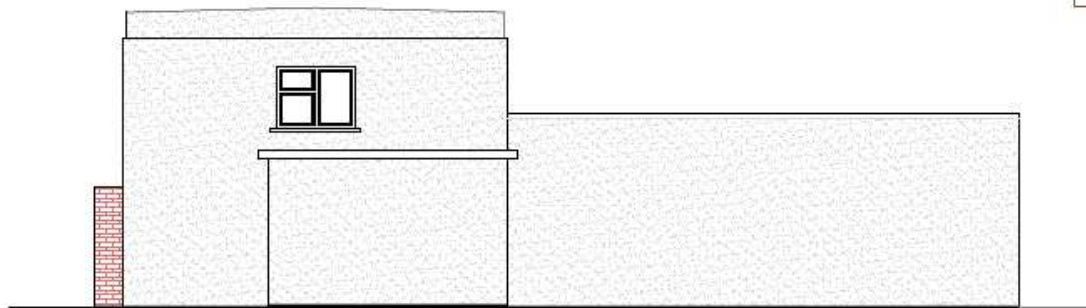
Wyneb i'r De Gorllewin / South West Elevation – Existing



graddfa fedrig / scale in metres



NOT FOR CONTRACT USE, FOR DETAILED  
PLANNING APPLICATION USE ONLY



Wyneb i'r De Dwyrain / South East Elevation – Existing

### PROTECTION OF DRAINS

All drains within 1.0m of building to be enclosed in concrete

Drains through walls to be protected both sides with non-degradable  
sheets and with cross-wedged timber support above walls.

### SOIL/WASTE CONNECTIONS

All Soil/Waste connections to sizes shown below:

- a) PVC 100 diam up to 0.0m
- b) Blocks 32 diam up to 1.7m / 40 diam up to 3.0m
- c) Blocks 32 diam up to 1.7m / 40 diam up to 3.0m
- d) Blocks 40 diam up to 3.0m / 50 diam up to 4.0m
- e) Blocks 40 diam up to 3.0m / 50 diam up to 4.0m

MF: All traps to be 75mm dia. Ductile Soil trap

### EXTERNAL FINISHES

For Specification of Finishes refer to Section Drawings.

### BUILDING REGULATIONS

For Building regulations Submission refer to the Series drawings for  
detailed information.  
(Not Applicable to Planning Approval Submission)



Note: Drawings should NOT BE SCALED if in doubt ask!  
Do not scale the drawing work to figure dimensions only.  
All dimensions in millimeters unless otherwise stated. Any errors or  
omissions to be reported to LAGO Cymru Ltd.

Some reproduction Drawings may differ in layout

<p>Chartered Institute of Architectural Technologists</p>	Client/Client	Mrs Joe Lewis	Project No	1018/26	Issue/Drawing Title	Existing Elevations	Scale/Scale	1 : 50											
	Project/Project	Conversion of Former Cooperative Store to Residential Dwelling, 14 Heol Gwermont, Llansaint.		Client/Project Name	ago: 101603		Issue/Drawing No	PA/03	Project/Issue	10.10.2018	Issue/Issue	01/16/20	Project/Project						

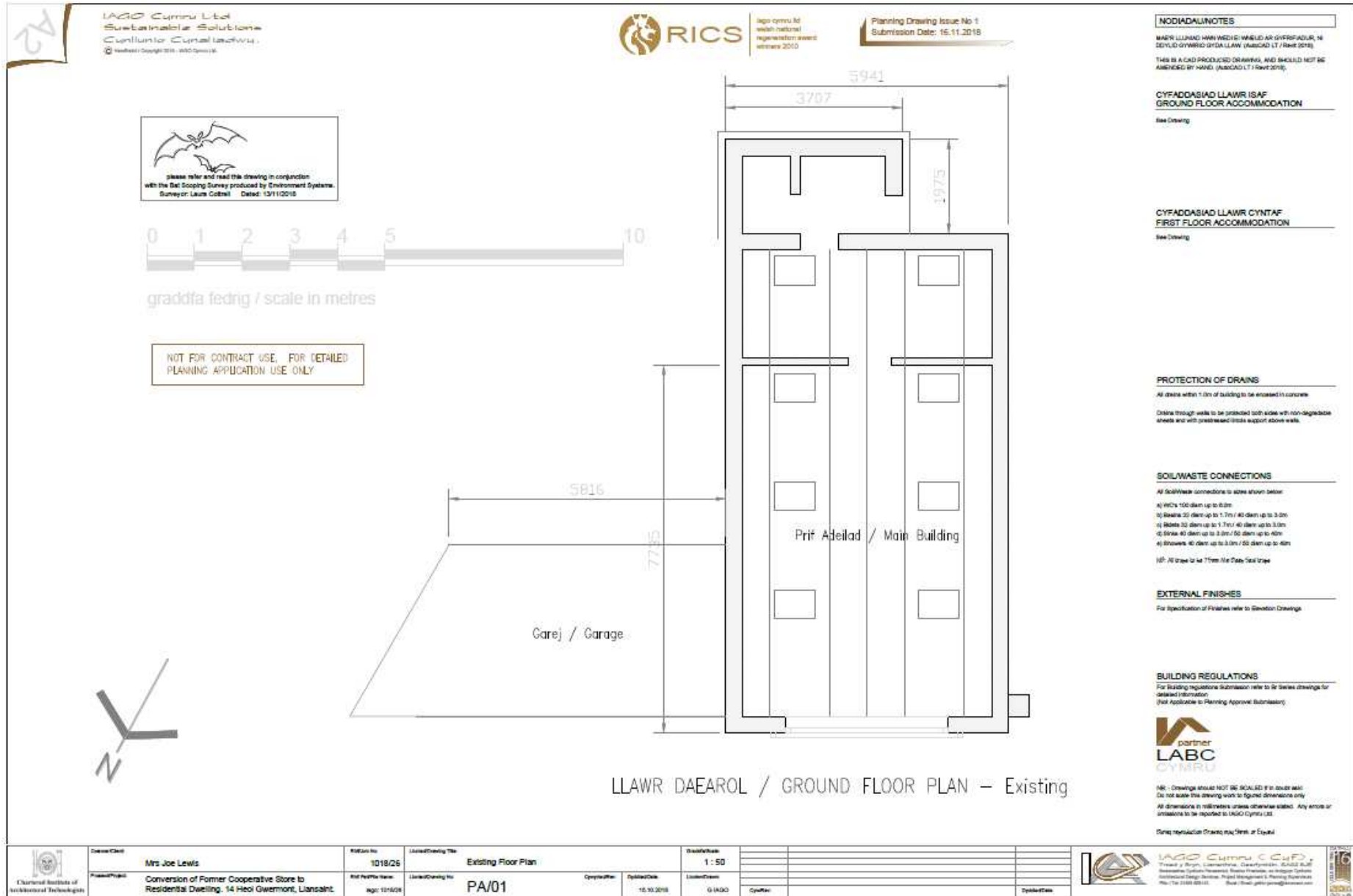


LAGO Cymru Ltd  
1018/26  
Conversion of Former Cooperative Store to Residential Dwelling, 14 Heol Gwermont, Llansaint.  
Issue/Issue: 10.10.2018  
Project/Project: 101603





# W/38150



	<b>Client:</b> Mrs Joe Lewis	<b>Revision No:</b> 101826	<b>Local Drawing Title:</b> Existing Floor Plan	<b>Scale/Sheet:</b> 1:50		<b>Client:</b> LAGO	<b>Project:</b> Conversion of Former Cooperative Store to Residential Dwelling, 14 Heol Gwermont, Llansant.	<b>Revision:</b> 16.11.2018	<b>Author:</b> G IAGO	
	<b>Project:</b> Conversion of Former Cooperative Store to Residential Dwelling, 14 Heol Gwermont, Llansant.	<b>Revision:</b> 16.11.2018	<b>Author:</b> G IAGO							

# W/38150

12

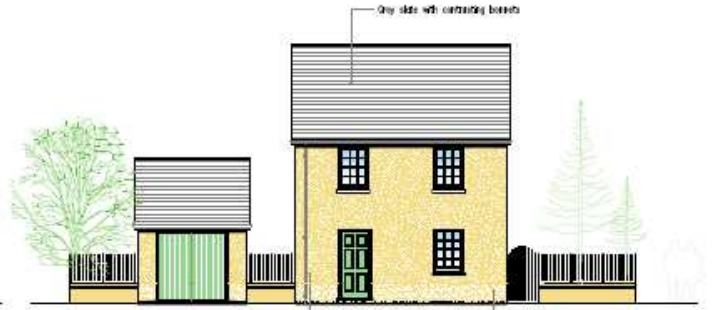
LAGO Cymru Ltd  
Sustainable Solutions  
Cynllunio Cynnal Iechyd  
© Hwylford Copyright 2018. LAGO Cymru Ltd.

RICS  
Lago Cymru Ltd  
Welsh national  
registration number  
welreg00000000

Planning Drawing Issue No 1  
Submission Date: 15.11.2018



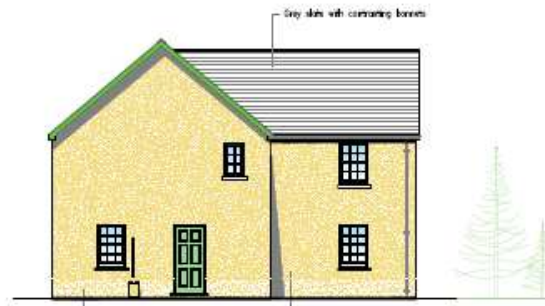
Wyneb I'r Gogledd Dwyrain / North East Elevation - Proposed



Wyneb I'r Gogledd Gorllewin / North West Elevation - Proposed



Wyneb I'r De Dwyrain / South East Elevation - Proposed



Wyneb I'r Gogledd Dwyrain / North East Elevation - Proposed

NOT FOR CONSTRUCTION. FOR GENERAL GUIDANCE INFORMATION ONLY.

### NODIADAU/NOTES

MAE'R LUNING HANWED GYRHEIDUR A'R GYFRIFADUR, NI DDIGIDU GWYBODAETHU LLAWR. DIM GYDDEBOD I'R CŴMRAE. THIS IS A CAD PRODUCED DRAWING AND SHOULD NOT BE AMENDED BY HAND. (UNLESS IT IS RE-DRAWN).

### CYFADDASIAD LLAWR ISAF GROUND FLOOR ACCOMMODATION

Kitchen	2200 x 2000
Dining	2100 x 4000
LBB	2100 x 1900
Hall	2100 x 2100
Living / Sun Lounge	3340 x 4000

Garage 2000 x 6000

### CYFADDASIAD LLAWR CYNTAF FIRST FLOOR ACCOMMODATION

Bedroom 1	3340 x 4000
WC	1800 x 1400
Bedroom 2	2100 x 2300
En-suite	2600 x 4000
En-suite	2100 x 1900

Ground Floor Area = 60 square metres (Garage 14 square metres)  
First Floor Area = 60 square metres  
Total Floor Area including Garage = 104 square metres (140 square feet)

### PROTECTION OF DRAINS

All drains within 1.0m of building to be enclosed in concrete

Drains through walls to be protected both sides with non-degradable bricks and with prestressed brick support above walls.

### SOIL/WASTE CONNECTIONS

All Soil/Waste connections to pipes shown below:

- a) WCs 100 diam up to 6.0m
  - b) Sinks 50 diam up to 1.7m / 40 diam up to 3.0m
  - c) Sinks 30 diam up to 1.7m / 40 diam up to 3.0m
  - d) Sinks 40 diam up to 3.0m / 50 diam up to 4.0m
  - e) Showers 40 diam up to 3.0m / 50 diam up to 4.0m
- NB: All traps to be 75mm 100 Day-Seal traps

### EXTERNAL FINISHES

For specification of Finishes refer to Elevation Drawings

### BUILDING REGULATIONS

For Building Regulations Submission refer to drawings drawings for detailed information  
(Not Applicable to Planning Approval Submission)



NB - Drawings should NOT BE RECALLED if it does not  
Do not scale the drawing work to figure dimensions only  
All dimensions in millimetres unless otherwise stated. Any errors or omissions to be reported to LAGO Cymru Ltd

Conservation Drawings may differ at Scale


	Client/Client	Mrs Joe Lewis	Ref/Ref No	1019/26	Linked Drawing Title	Proposed Elevations	Scale/Scale	1:100	
	Project/Project	Conversion of Former Cooperative Store to Residential Dwelling, 14 Heol Gwernont, Llansant.	Ref/Ref No/Rev	agc/1019/26	Linked Drawing No	PA/05	Client/Client	G LAGO	
					Created/Drawn	15.10.2018	Checked/Drawn		



# W/38150

**LAGO Cymru Ltd**  
Sustainable Solutions  
Cynllunio Cynnal Iaithwyl.  
© 2016/2017/2018/2019/2020/2021/2022

**HEOL GWERMONT**



RICS  
Registered Chartered Surveyors  
since 1828

Planning Drawing Issue No 1  
Submission Date: 15.11.2018

**NODIADAU/NOTES**

MARR LUNING HMW MEDDI: WMSLD AP GWYFSAIUR, 14 DEVLID GWYRD OYDA LLAW (AUSGAD LT / Rev 2018)

THIS IS A CAD PRODUCED DRAWING AND SHOULD NOT BE AMENDED BY HAND. (AUSGAD LT / Rev 2018)

**CYFADDASIAD LLAWR ISAF**  
**GROUND FLOOR ACCOMMODATION**


Kitchen	2300 x 2300
Dining	2700 x 4500
Living	2700 x 1500
Hall	3700 x 2700
Living + Sun Lounge	5340 x 4400
Garage	2000 x 5000

**CYFADDASIAD LLAWR CYNTAF**  
**FIRST FLOOR ACCOMMODATION**

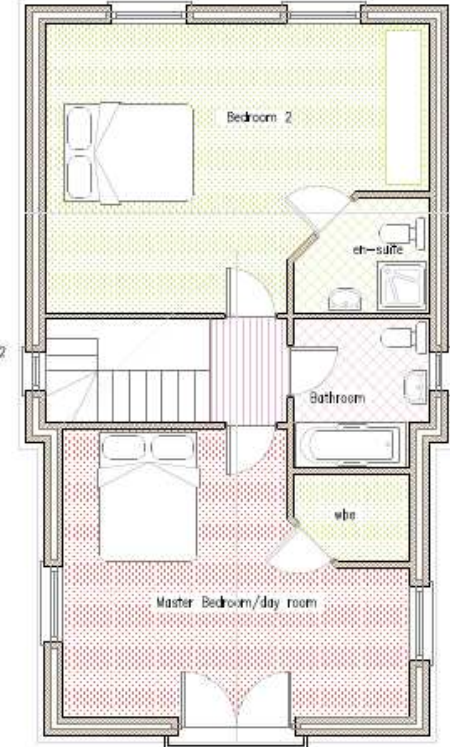
Bedroom 1	5340 x 4400
W.C.	1800 x 1400
Bathroom	2700 x 2300
Bedroom 2	5000 x 4400
En-suite	2700 x 1800

Ground Floor Area = 60 square metres - (Garage: 14 square metres)  
First Floor Area = 60 square metres  
Total Floor Area including Garage = 134 square metres (140 square feet)


NOT FOR CONTRACT USE. FOR DETAILED PLANNING APPLICATION USE ONLY




**LLAWR DAEAROL / GROUND FLOOR PLAN**



**LLAWR CYNTAF / FIRST FLOOR PLAN**




**BUILDING REGULATIONS**  
For building regulations submission refer to 0r below drawings for detailed information  
Do not scale this drawing work to ground dimensions only  
All dimensions in millimeters unless otherwise stated. Any errors or omissions to be reported to LAGO Cymru Ltd.  
Some restrictions Grants may apply or Exempt




partner  
**LABC**  
CYMRU

MR - Drawings should NOT BE SCALED if it should not  
Do not scale this drawing work to ground dimensions only  
All dimensions in millimeters unless otherwise stated. Any errors or omissions to be reported to LAGO Cymru Ltd.  
Some restrictions Grants may apply or Exempt



LAGO Cymru Ltd  
14 Heol Gwermont, Llanstaint  
Tel: 01492 881111 Email: info@lago-cymru.co.uk

	<p>Client: Mrs Joe Lewis</p> <p>Project: Conversion of Former Cooperative Store to Residential Dwelling, 14 Heol Gwermont, Llanstaint.</p>	<p>Ref: 1018/26</p> <p>Ref Profile Name: sgr/1018/26</p>	<p>Issue/Revising Title: Proposed Floor Plans</p> <p>Issue/Revising No: PA/04</p>	<p>Created/Revised: 15.10.2018</p> <p>Created/Revised By: G LAGO</p>	<p>Scale: 1:50</p> <p>Scale/Author: G LAGO</p>			
---	--	--	---	--	--	--	--	--

# W/38150



Tudalen 103



Tudalen 104

# W/38150



Skype for Business

# W/38150



Tudalen 105



Tudalen 106

# W/38150



# W/38150



Tudalen 107



Tudalen 108

# W/38150



# W/38150



Tudalen 109



Tudalen 110

# W/38150



# W/38150



Tudalen 111



Tudalen 112

# W/38150

